



# GUILFORD COUNTY PLANNING AND DEVELOPMENT

## HISTORIC PRESERVATION COMMISSION AGENDA

Carolyn Q. Coleman Conference Room  
First Floor, Old Guilford County Courthouse  
301 W Market St, Greensboro, NC 27401

**December 16, 2025**

**Regular Meeting**

**6:00 PM**

- I. Roll Call**
- II. Agenda Amendments**
- III. Approval of Minutes: November 18, 2025**
- IV. Rules and Procedures**
- V. Old Business**
- VI. New Business**

### **Legislative Hearing Item(s)**

#### **A. LANDMARK DESIGNATION CASE #25-10-HPC-00007: 2005 YANCEYVILLE ST, GREENSBORO, NC 27405 (MILL HOUSE AT REVOLUTION MILL)**

The subject property is located at 2005 Yanceyville St (Guilford County Tax Parcel #26775), approximately 800 feet south of the intersection of Yanceyville Street and East Cornwallis Drive, and the lot comprises approximately 3.48 acres.

This is a request to designate the entire approximately 3.48-acre lot, the exterior of the mill house building, and specific interior features including (1) cast-in-place concrete columns and (2) brick party wall between the 1915 structure and the 1935 addition.

400 W Market St, Greensboro, NC 27401  
PO Box 3427, Greensboro, NC 27402  
Telephone: 336-641-3334 | Fax: 336-641-6988





## GUILFORD COUNTY PLANNING AND DEVELOPMENT

Information for **LANDMARK DESIGNATION CASE #25-10-HPC-00007** can be viewed by scrolling to the December 16, 2025, regular meeting agenda and packet at <https://www.guilfordcountync.gov/government/departments-and-agencies/planning-and-development/boards-and-commissions/historic-preservation-commission>.

### **B. LANDMARK DESIGNATION CASE #25-10-HPC-00009: 106 #13 RAILROAD AVE, GIBSONVILLE, NC 27249 (MINNEOLA MANUFACTURING MILL)**

The subject property is located at 106 #13 Railroad Ave (Guilford County Tax Parcel #230323), approximately 1,300 feet east of the intersection of Whitsett Avenue and Minneola Street, and the lot comprises approximately 1.93 acres.

This is a request to designate the exterior of the cloth storage warehouse building.

Information for **LANDMARK DESIGNATION CASE #25-10-HPC-00009** can be viewed by scrolling to the December 16, 2025, regular meeting agenda and packet at <https://www.guilfordcountync.gov/government/departments-and-agencies/planning-and-development/boards-and-commissions/historic-preservation-commission>.

### **Evidentiary Hearing Item(s)**

### **A. CERTIFICATE OF APPROPRIATENESS CASE #25-10-HPC-00008: 101 S MAIN ST, HIGH POINT, NC 27260 (ONE PLAZA CENTER / SHOWPLACE WEST)**

The subject property is located at 101 South Main Street (Guilford County Tax Parcel #171404 in High Point Township), approximately 500 feet north of the intersection of South Main Street and Commerce Avenue, and the lot comprises approximately 0.67 acres.

This is a request to consider granting a Certificate of Appropriateness for exterior and interior alterations including:



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### **Exterior Changes Proposed:**

- Sunken Plaza and Site: Repair concrete stairs, metal handrails, and existing pavers; remove non-historic site elements to accommodate use of plaza for tenant amenities and outdoor activities; remove and replace plaza pavers as necessary; remove non-historic planters (no historic concrete planters remain on site); install new skylights along perimeter of sunken plaza to allow natural light in basement units; install new 60-inch tall glass railing fences at access points to sunken plaza; install new equipment in existing mechanical enclosure at east end of site.
- Building Exterior and Roof: Repair exterior walls using guidance contained in Preservation Brief No. 15: Preservation of Historic Concrete; remove existing roof membrane down to deck, along with conduits, flashing, and drains, and replace with new roof; repair rooftop penthouse and replace exterior cladding with materials to match existing; install skylights on connection to adjacent non-historic garage building to provide natural light to first floor units.
- Windows and Exterior Doors: Replace windows on upper floors with new windows to match existing, retaining the solid bottom panels; install clear glass on rear windows; insert new window openings, e.g., within rooftop penthouse and behind louvers at sunken plaza, installing aluminum casement windows and fixed storefront; repair all first floor storefront as needed; replace storefront assemblies at sunken plaza; replace overhead door on east elevation (Wrenn Street) with a shortened door to accommodate proposed mezzanine floor (see "Interior Plan" section below); install new doors at penthouse level to provide roof access.

### **Interior Changes Proposed:**

- Interior Plan: Install residential units at rear of first floor, basement, and upper floors, including rooftop penthouse; install new mezzanine level between first and second floors within first floor residential units (finishes to be differentiated from historic elements); install tenant amenity spaces in basement.
- Interior Walls and Ceilings: Remove all non-historic ceiling and wall finishes throughout building; remove integrated water fountains and accompanying plumbing; retain mailboxes on each floor, but they may



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be sealed and the void reused for new building systems as needed; repair existing historic finishes as feasible, including limited remaining wood paneling on eighth floor; gently clean historic travertine walls; install new smooth drywall walls to achieve proposed floor plan; install dropped ceilings where necessary to conceal systems/services.

- Floor Finishes, Interior Doors, and Woodwork: Remove non-historic floor finishes throughout building; retain and restore historic finishes discovered during demolition; install new floor finishes, including luxury vinyl tile, carpet, and tile; clean and seal areas of historic concrete floors to be left exposed; remove existing interior doors and woodwork; retain and restore remaining historic doors and woodwork; any historic doors and woodwork that has been damaged or deteriorated beyond repair will be replaced with new elements to match existing; install new interior doors and woodwork (to be differentiated from historic elements).
- Systems: Remove all existing systems within building and install new systems to meet new use of property; decommission two elevators to allow reuse of shafts for vertical systems distribution; retain elevator doors and remove non-historic vinyl wraps; remove freight elevator and shaft; remaining two elevators will be upgraded, replacing cabs and retaining existing shafts and doors.

Information for **CERTIFICATE OF APPROPRIATENESS CASE #25-10-HPC-00008** can be viewed by scrolling to the December 16, 2025, regular meeting agenda and packet at <https://www.guilfordcountync.gov/government/departments-and-agencies/planning-and-development/boards-and-commissions/historic-preservation-commission>.

### VII. Other Business

#### A. Election of 2026 Officers

### VIII. Staff Updates

- Minor COA Report
- Landmark Index Project Update
- Annexed Landmarks Update
- America 250 Project Update
- Who is HPC" Document Update

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## GUILFORD COUNTY PLANNING AND DEVELOPMENT

- Landmark Application Revision Update

**IX. Commissioner Updates**

**X. Adjournment**

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**GUILFORD COUNTY  
HISTORIC PRESERVATION COMMISSION  
MEETING MINUTES**

Carolyn Q. Coleman Conference Room  
First Floor, Old Guilford County Courthouse  
301 W Market St, Greensboro, NC 27401

**November 18, 2025**

**Regular Meeting**

**6:00 PM**

**I. Roll Call**

Chair Sean Dowell called the meeting to order at 6:00 p.m.

Avery Tew called the roll:

**Present:** Sean Dowell, Chair; Terry Hammond, Vice-Chair; David Millsaps; Keisha Hadden; Louis Gallien; Abigaile Pittman; Haley Moloney;; Jerry Nix; and Cory Rayborn

**Absent:** David Horth (excused), Christie Lee (excused)

The following staff were also present: Jason Hardin, Planning and Development Deputy Director; Avery Tew, Senior Planner; and Erris Dunston, Assistant County Manager for Strong Community.

**II. Agenda Amendments**

Mr. Hardin reminded the Commissioners that at the December 16<sup>th</sup> meeting there will be Election of Officers. He asked the Commission if they would like to discuss this item tonight before elections in December as a couple of Commissioners have indicated they will not be present at the December meeting.

Vice-Chair Hammond moved to amend the agenda to include "2026 Officers Discussion" as the last item under Other Business, seconded by Mr. Rayborn. The Commission members voted unanimously in favor of the motion (Ayes: Dowell, Hammond, Millsaps, Hadden, Gallien, Pittman, Moloney, Nix, Rayborn. Nays: None.).

**III. Approval of Minutes: October 21, 2025**

Vice-Chair Hammond mentioned that page 4, paragraph 5 should be corrected to state that she was the one who mentioned requesting funding to attend the 2026 Preservation North Carolina Conference in High Point.



Chair Dowell pointed out an error on the 2<sup>nd</sup> page, 5<sup>th</sup> paragraph. This passage read, “Chair Dowell asked how the tax deferment would be applied to a residential property...” He said the word “residential” should be removed.

Ms. Moloney moved to approve the October 21, 2025, minutes, as amended, seconded by Mr. Rayborn. The Commission members voted unanimously in favor of the motion (Ayes: Dowell, Hammond, Millsaps, Hadden, Gallien, Pittman, Moloney, Nix, Rayborn. Nays: None.).

#### **IV. Rules and Procedures**

Since there were no hearings on the agenda for this meeting, Chair Dowell did not announce the Rules and Procedures.

#### **V. Old Business**

##### **A. Historic Property Insurance Discussion**

Chair Dowell turned this discussion over to Vice-Chair Hammond. Vice-Chair Hammond reported that she had received a call from another historic property owner in Oak Ridge who owns a locally designated landmark as well as a National Register Property and is experiencing similar issues with their insurance carrier to the situation that Vice-Chair Hammond had previously discussed. Vice-Chair Hammond shared the information she previously received from Preservation North Carolina and noted that she is trying to be proactive, as she anticipates this issue may continue to arise in the coming year.

Vice-Chair Hammond stated that she hired an inspector to evaluate whether any work was needed on her roof. The inspector recommended a Winston-Salem–based company, Black Cat Inspections, which has extensive historic property experience and has received awards from Preservation North Carolina. She contacted the owner, Chris Hilton, who advised that a terne metal roof can last an unknown period of time, possibly more than 100 years. He noted that most insurance companies do not understand these roofs, cannot determine their condition, and that most modern roofers lack the expertise to assess them, as they are accustomed primarily to asphalt shingles.

Vice-Chair Hammond reported that the advice she received was to maintain her current insurance coverage and avoid making changes unless absolutely necessary. If coverage is denied again in the future, she recommended obtaining a letter from a roofer who specializes in terne metal roofs documenting the roof’s condition and longevity.

Mr. Hardin stated that staff reached out to Preservation North Carolina to get some feedback and they are having people from all across the state reaching out to them regarding insurance issues with historic properties.

Ms. Moloney stated that Saving Places has a recommendation list for roofers that may be familiar with this roofing insurance matter.

## **B. Review Current Landmark Application**

- **Provide feedback on possible changes.**

Chair Dowell stated that a copy of the landmark designation application was provided to everyone and he would like feedback on what else should be included on the application to make it easier for staff and applicants. He pointed out that somebody may have to hire a consultant to prepare a report on the property in order to apply. The process can be long, involving review by staff, the Chair and Vice-Chair, and the State Historic Preservation Office (SHPO) before coming back to the Commission for a recommendation. A consultant is not mandatory but is certainly helpful.

Mr. Gallien asked whether the application could be submitted online.

Mr. Tew responded the application is available on the County's website but must be submitted by email to staff.

Ms. Moloney pointed out that there were issues with long property names being cut off on the digital application form.

A short discussion followed, where several edits were suggested for the landmark designation application.

Mr. Hardin stated staff will take the suggested edits from the Commission and provide a draft copy for review at a future meeting.

## **C. Document Review – “Who is HPC?”**

- **Final Review**

Vice-Chair Hammond suggested that the formatting may need to be changed, particularly at the beginning. Ms. Moloney suggested that the members get a copy of the changes suggested by Vice-Chair Hammond and look them over and then talk about it at the December meeting.

Chair Dowell stated that the point of the document is for people who are not historic preservation professionals to be able to have an understanding of what the HPC is and what they do.

A discussion followed, where several edits were suggested for the “Who is HPC?” document, including preparation of two documents: the first being oriented toward

municipalities to provide information on the commission and the second being a flyer directed to members of the general public.

#### **D. Potential America 250 NC Activities Discussion**

Ms. Moloney stated that Guilford County's America 250 NC Committee had not held many meetings. She has signed up to be on the Video Committee, Time Capsule Committee, American Potluck Committee, and the Young Adults Committee because she feels those are the things that the Historic Preservation Commission can contribute to.

Ms. Moloney provided an update on the Video Committee, noting that this component is expected to be a major highlight. The Committee plans to produce 30–60 short videos featuring fun facts about Guilford County, spanning from the Revolutionary War era to the present day. Any topic that can be clearly framed into a brief informational segment will be considered, and she will begin compiling a list of potential video subjects.

She noted that many of the videos will be designed for social media. The Committee is also exploring options for brief “bookend” time slots on television commercials. Ms. Moloney invited members to share ideas or suggestions and encouraged them to email her with any contributions.

Ms. Moloney is also working on making a book to be included in the time capsule and it will have information on all local historic landmarks in the County. She also would like letters from elected officials on what they would like to see in 50 years for Guilford County when the capsule is opened.

The American Potluck is based on National Night Out, which is an event that promotes partnerships between law enforcement and the communities they operate in. A flyer will be created to distribute to different communities and tell them to plan their own party and provide a hash-tag to be used for pictures.

Ms. Moloney stated that they are also trying to figure out a way to get young people involved in historic preservation.

Mr. Hardin asked if there was a project that the Commission members wanted to do, like an HPC sponsored event or a tour of landmark properties.

Ms. Moloney suggested a soft-guided drive-along tour of landmarks in Guilford County. She said the committee is considering using an app to use for self-guided tours of historic landmarks. Another option would be for the HPC to host their own potluck at some point in time.

Mr. Hardin asked the Commission which option they would prefer.

General feedback from the Commissioners was to pursue the tour option.

Mr. Hardin responded that staff would begin working on investigating the tour app with Ms. Moloney and work with the County GIS Department to develop route options.

#### **E. Interior Designation Discussion**

Mr. Hardin said staff are reviewing the architectural style, minutes, letters of recommendation, and ordinances designating each landmark to determine what the intended scope of designation was at the time. This is part of the Landmark Index Project which he stated will be discussed further in Staff Updates.

#### **F. Landmark Property Picture Update**

Mr. Nix moved that this item is to be tabled and discussed at the December meeting, seconded by Vice-Chair Hammond. The Commission members voted unanimously in favor of the motion (Ayes: Dowell, Hammond, Millsaps, Hadden, Gallien, Pittman, Moloney, Nix, Rayborn. Nays: None.).

### **VI. New Business**

None.

### **VII. Other Business**

#### **A. Staff Updates**

- **Minor COA Report**

Mr. Tew stated there have been three (3) minor Certificates of Appropriateness issued this year: one for miscellaneous exterior alterations at the J. M. Galloway House, one for tree removal at the F. M. Smith House, and one for like-for-like roof replacement at the Buffalo Presbyterian Church.

- **Landmark Index Project Update**

Mr. Hardin presented a description of the project to create a landmark index, including implementation steps and anticipated timeline. He said staff would research and include information on tax deferral percentage, architectural style, landmark designation ordinance language, and a summary of the minutes of the HPC discussion for each landmark. The goal is to complete an average of 10 landmark properties per month. Staff will provide monthly updates on project progress and keep a copy of the completed landmark properties in the OneDrive file for the Commission to see progress.

- **Annexed Landmarks Update**

Mr. Hardin said staff have met with the City of Greensboro and plans to meet with the City of High Point and the City of Burlington. Staff are also reaching out to other jurisdictions to see how they handle interlocal agreements for historic preservation. The goal is to formalize our agreements with the local jurisdictions and clarify roles.

**B. 2026 Officers Discussion**

This item was not discussed.

**VIII. Commissioner Updates**

Ms. Hadden briefly discussed the Zenke House. She stated that funding could not be found to move the building.

A discussion followed, regarding the significance of the Zenke House among the Commissioners.

**IX. Adjournment**

There being no further business before the Commission, Ms. Pittman moved to adjourn the meeting, seconded by Vice-Chair Hammond. The meeting was adjourned by unanimous vote at 8:20 p.m. (Ayes: Dowell, Hammond, Millsaps, Hadden, Gallien, Pittman, Moloney, Nix, Rayborn. Nays: None.).

**The next meeting of the Guilford County Historic Preservation Commission is scheduled for December 16<sup>th</sup>, 2025, at 6:00 p.m.**

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**GUILFORD COUNTY  
PLANNING AND  
DEVELOPMENT**

**Historic Preservation  
Commission  
Application for Historic Landmark  
Designation**

**Name of Designated Landmark (Historic and/or Common):** Mill House at Revolution Mill

**Property Address/Location:** 2005 Yanceyville Street Greensboro NC 27405

**Tax Parcel Number:** 2 6 7 7 5

**Deed Book and Page Number:** 007689-00133

**Plat Book and Page Number:** B: 84 Pg: 17

**Features to be designated (lot, interior, exterior, etc.):** Lot, Exteriors, and Designated Interior Elements

☐ Applicant ☒ Owner

SHVF Mill House LLC

**Name (please print legibly)**

301 W Main Street

**Mailing Address**

Durham, NC 27701

**City, State and Zip Code**

(919)956-4462

**Phone Number**

Dan.Levine@self-help.org

**E-mail Address**



**Signature**

6/30/2025

**Date**

☒ Applicant ☐ Owner

Mary Margaret Licisyn

**Name (please print legibly)**

Self-Help Credit Union; 100 Dana Road

**Mailing Address**

Hendersonville, NC 28792

**City, State and Zip Code**

828-233-1140 x3456 or 828-575-3962

**Phone Number**

marymargaret.licisyn@self-help.org

**E-mail Address**

MM Licisyn

**Signature**

7/14/2025

**Date**

**The application is due no later than noon (12:00 P.M.) on the fourth (4th) Tuesday of the month. The regularly scheduled meeting is typically held every third (3rd) Tuesday of the month.**

**Return completed applications by e-mail to:  
Guilford County Planning and Development  
jsnyder@guilfordcountync.gov  
(336) 641-3334**

<https://www.guilfordcountync.gov/our-county/planning-development/historic-preservation-program>



**READ CAREFULLY AND SUPPLY ALL INFORMATION**

**The following information must be provided, in digital format, before the application can be reviewed, deemed complete and placed on the next available Historic Preservation Commission agenda:**

1. **STATEMENT OF SIGNIFICANCE:** The property must be deemed historically, architecturally or archaeologically significant. **DATE ALONE DOES NOT MAKE A PROPERTY SIGNIFICANT.** Please describe and document the seven aspects of integrity which include the significance of location, design, setting, workmanship, materials, feeling, and association. Include significant dates in the property's history.
2. **MAPS:** Provide a location/vicinity map for the property. Also provide a scaled site plan or as-built survey of the property indicating the proposed landmark boundaries and location of all buildings to be included in the proposed designation.
3. **PHOTOGRAPHS:** Provide a complete photographic record of the property. Include photographic views sufficient to document all significant aspects of the property proposed for designation. All photographs must be labeled and submitted in a digital format. Older photos should be scanned in color.
4. **ARCHITECTURAL DESCRIPTION:** Describe both the original and current appearance and style of the significant structures such as houses, barns, well houses, and other buildings proposed for designation. The description should include the following: date of construction, date(s) of alterations, description of overall form, and exterior details (and interior details if included). Include a drawing of the existing and original (if different) floor plan with rooms labeled.
5. **HISTORICAL BACKGROUND:** Describe the history of the property. The details should include the following: former uses of the property, list of owners (from Grantor-Grantee index), a list of builders and/or architects if known. Also, if available, provide and label further documentation such as newspaper or periodical articles, excerpts from books, cemetery records, register of deeds documents, and oral history documentation.
6. **BIBLIOGRAPHY:** Provide footnotes and a list of information resources.

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**I, THE UNDERSIGNED, HEREBY CERTIFY THAT THE ABOVE STATEMENTS ARE TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND I SUPPORT LANDMARK DESIGNATION OF THE PROPERTY DEFINED HEREIN.** I acknowledge that the Guilford County Historic Preservation Commission may require additional information. I acknowledge that the designation, if approved by the governing body, includes the specific features requested for designation, or as otherwise determined worthy of designation by the governing body upon recommendation from the Historic Preservation Commission. I acknowledge that any alterations of the property and/or features designated shall first require issuance of a Certificate of Appropriateness (COA) by the Guilford County Historic Preservation Commission or its staff, as appropriate. I acknowledge that all final application materials submitted become the property of Guilford County and may not be returned. **Finally, I hereby consent to the visitation of my property by any local board member or staff, upon reasonable notice, for purposes of investigating the merits of potential designation.**

  
\_\_\_\_\_  
Signature of Owner(s)

6/30/2025

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signature of Owner(s)


\_\_\_\_\_  
Date

## CERTIFICATE OF RESOLUTIONS AND INCUMBENCY

I hereby certify that I am the duly elected and acting Assistant Secretary and Assistant General Counsel of Self-Help Historic Properties, Inc., a business corporation organized and validly existing under the laws of the State of North Carolina (the "Corporation"), which is the sole manager of SHVF Mill House, LLC, a limited liability company organized and validly existing under the laws of the State of North Carolina, (the "Organization") and that, as such, I am authorized to execute this certificate on behalf of the Corporation. I further certify that Board of Directors of the Corporation, in accordance with applicable law and the Articles of Incorporation and Bylaws of the Corporation, has delegated authority to the Corporation's officers, including duly appointed Vice Presidents, to make decisions and legally binding obligations with respect to the Organization. I further certify that this delegation by the Board of Directors has not been modified, amended or rescinded and remains in full force and effect on the date hereof:


\_\_\_\_\_

I hereby certify that the following named individual has been duly elected and is now fulfilling the office set forth after his name, with all the powers attached thereto:

<u>Name</u>	<u>Office</u>	<u>Signature</u>
Dan Levine	Vice President	 _____

I further certify that the above-named officer has been duly authorized by the Corporation to execute any and all contracts and/or associated documents in connection with the purchase of the Property, and that all such actions shall be binding on the Corporation to the fullest extent of the law.

IN WITNESS WHEREOF, I have hereunto set my hand on the 11th day of August, 2025.

By:   
\_\_\_\_\_  
Dave Shumannfang  
Self-Help Historic Properties, Inc.  
Assistant Secretary  
General Counsel



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Interior Photos and Plans

National Register of Historic Places Nomination Form

Articles and Writings



# MILL HOUSE - 2005 Yanceyville Street

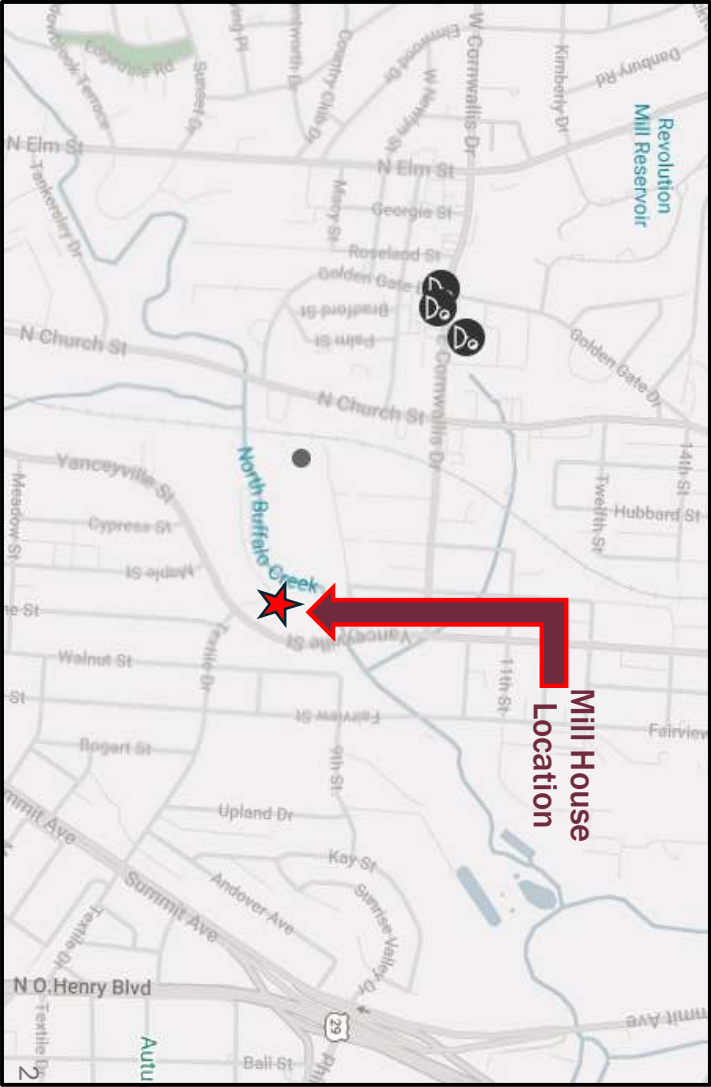
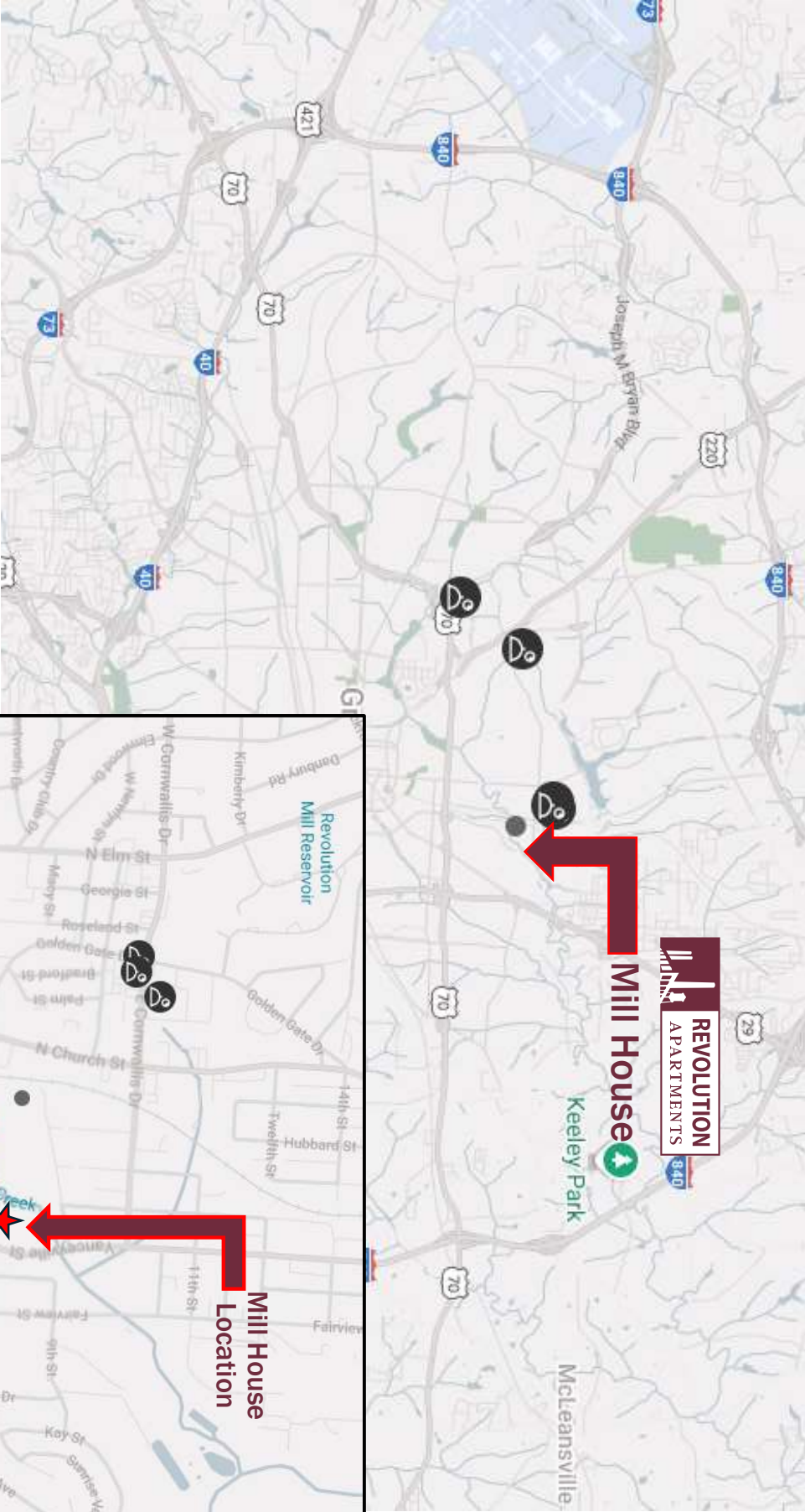
## Guilford County Historic Landmark Designation Application

Prepared by SHVF Mill House, LLC

September 2025



Vicinity Map



# Revolution Mill Campus Map



## Mill House

2005 Yanceyville Street

The campus of the Revolution Cotton Mills was listed on the National Register of Historic Places in 1984 due to its architectural significance and historical importance within the textile industry. Revolution Mill became a Guilford County local landmark on October 18, 2016. Mill House is listed on the National Register and is seeking to become a Guilford County local landmark with this application.

# Quick Facts – Mill House

Parcel	PIN	Owner	Deed	Plat	Built	Lot Size
26775	7875057855	SHVF MILL HOUSE LLC	<a href="#">007689-00133</a>	Book 190 pg 26-27	1916	3.48 Acres
Address	Type	Exterior Materials	Structural Materials	Exterior Elements	Windows	
2005 Yanceyville Street, Greensboro, NC Guilford County	Typical Southeastern Textile Mill from late 19 <sup>th</sup> and early 20 <sup>th</sup> century.	Flemish Bond Brick	Round reinforced concrete posts support steel joists and concrete floors	Bays and Floor levels are visually divided by bands of concrete, both vertical and horizontal	Set in Rectangular Openings (not arched like earlier buildings)	

Original Founders	Claim	Exterior Design	National Register of Historic Places	Form and Function
<ul style="list-style-type: none"><li>• Emanuel Sternberger</li><li>• Herman Sternberger</li><li>• Moses Cones</li><li>• Caesar Cone</li></ul>	By 1938, Revolution Cotton Mills claimed to be the largest exclusive flannel mill in the world, producing 50,000,000 yards of various flannels.	Simple, straightforward design; designed with safety and efficiency in mind rather than architectural beauty	1984 designation included Mill House as part of larger Revolution Mill campus	The warehouse, a separate building with a series of parallel brick fire walls connected by light-weight wooden walls with large doors which could be easily torn down for removal of the cotton bales in case of fire.



## Proposed Exterior Designation

Mill House Parcel  
Lot Designation

## SOIL

Solid Contaminant	Sample Location	Depth (ft)	Date of Sampling	Concentration Exceeding Screening Level (mg/kg)	Residential Screening Level (mg/kg)
Benz(a)anthracene	SB-10			24	0.15
Benz(a)pyrene	SB-10			23	0.015
Benz(a)pyrene	SB-2	6-12	June 4, 2014	1.4	0.015
Benz(a)fluoranthene	SB-10			34	0.15
Indeno(1,2,3-cd)pyrene	SB-10			13	0.15

<sup>1</sup>Screening levels displayed for non-carcinogens are for hazard quotient equal to 0.2. Screening levels displayed for carcinogens are for 1.0E-6 lifetime incremental cancer risk target.[illegible]

- [illegible]

## Proposed Boundary & Legal Description

Proposed Boundary Justification :

The proposed boundary for Local Landmark Designation is the property's current 3.6429-acre parcel (PIN: 7875057855). See Plat Book: 190, pg 26-27

- The owners wish to designate the lot, the exterior of the building, and specific interior features, including:
- Cast-in-place concrete columns
  - Brick party wall between the 1915 structure and the 1935 addition

### EXHIBIT A – LEGAL DESCRIPTION

All that certain tract or parcel of real property situate, lying and being in the City of Greensboro, Gilmer Township, Guilford County, North Carolina, and more particularly described as follows:

BEGINNING at an iron pin located in the western margin of Yanceyville Street, said iron pin being located a total distance of 166.39 feet generally south of the point of intersection of the southern margin of 9th Street with the western margin of Yanceyville Street; and running thence from the point of beginning along the western margin of Yanceyville Street a chord bearing and distance of South 02 deg. 40 min. West 365.96 feet to an iron pin in the western margin of Yanceyville Street; thence leaving the western margin of Yanceyville Street and running North 52 deg. 32 min. West 45.73 feet to an iron pin; thence South 37 deg. 28 min. West 130.91 feet to an iron pin; thence South 79 deg. 21 min. West 55.54 feet to an iron pin; thence North 66 deg. 06 min. West 169.05 feet to an iron pin; thence North 23 deg. 57 min. East 33.03 feet to an iron pin; thence North 66 deg. 06 min. West 60.00 feet to an iron pin; thence North 11 deg. 57 min. West 71.14 feet to an iron pin; thence South 78 deg. 03 min. West 28.26 feet to an iron pin; thence North 58 deg. 44 min. West 33.33 feet to an iron pin; thence North 11 deg. 57 min. West 67.47 feet to an iron pin; thence North 78 deg. 03 min. East 11.56 feet to an iron pin; thence a chord bearing and distance of North 33 deg. 22 min. East 38.72 feet to an iron pin; thence North 11 deg. 57 min. West 72.50 feet to an iron pin; thence North 78 deg. 03 min. East 220.00 feet to an iron pin; thence South 11 deg. 57 min. East 39.48 feet to an iron pin; thence North 78 deg. 03 min. East 59.92 feet to an iron pin; thence North 71 deg. 23 min. East 178.15 feet to an iron pin located in the western margin of Yanceyville Street, the point or place of BEGINNING; same containing 3.481 acres, more or less, same being all of the property shown and described on plat of survey entitled "Property of Revolution Associates I," as recorded in Plat Book 84, Page 17, in the Office of the Register of Deeds of Guilford County, North Carolina.

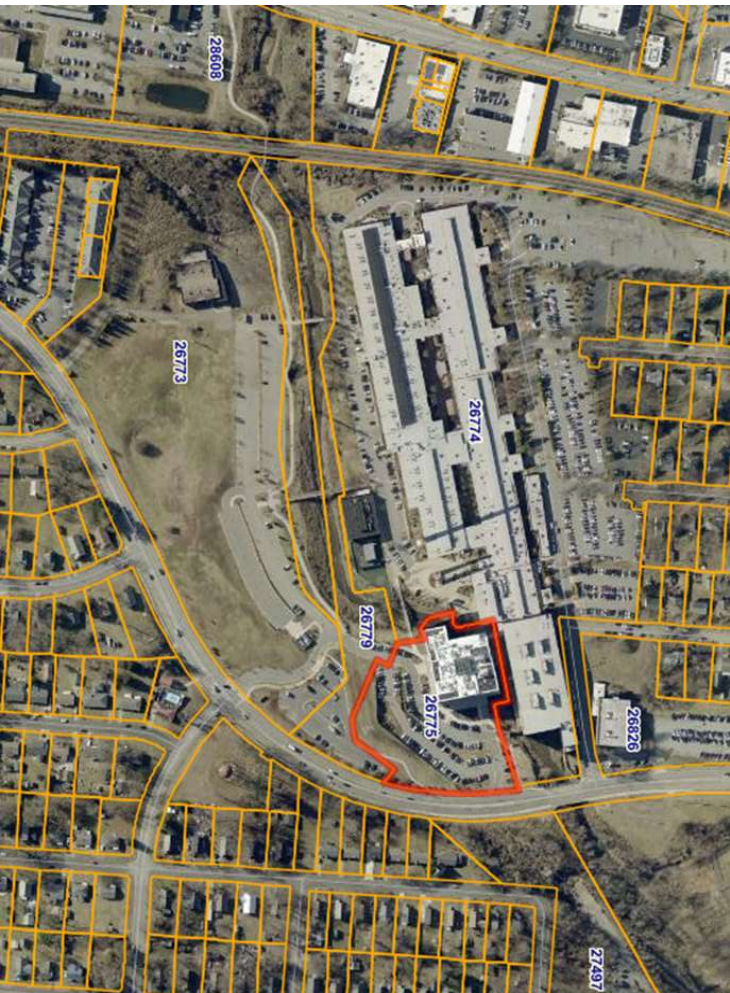
And being a portion of the property conveyed by Cone Mills Corporation to Revolution Associates I, by deed dated September 12, 1983, and recorded in Book 3314, Page 65, in the Office of the Register of Deeds of Guilford County, North Carolina.

The foregoing description is based on survey entitled "Property of Mega Storage Associates," prepared by Marvin L. Borum & Associates, Surveyors, dated November 7, 1986.



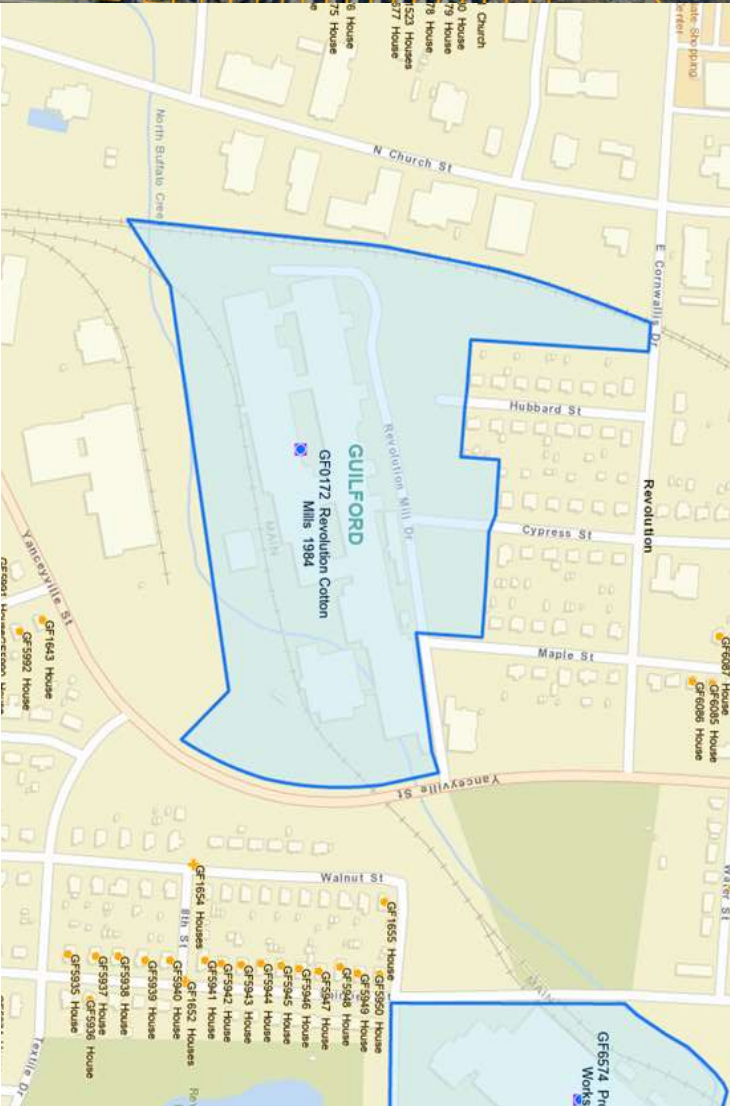
Maps: Tax Map and NC State Historic Preservation Office Map

Guilford County Tax Map (parcel in red)  
Parcel 26775



Source: GIS Data Viewer

HPO Web Map (parcel in blue)  
GF0172 | Revolution Cotton Mills; National Register GF0172



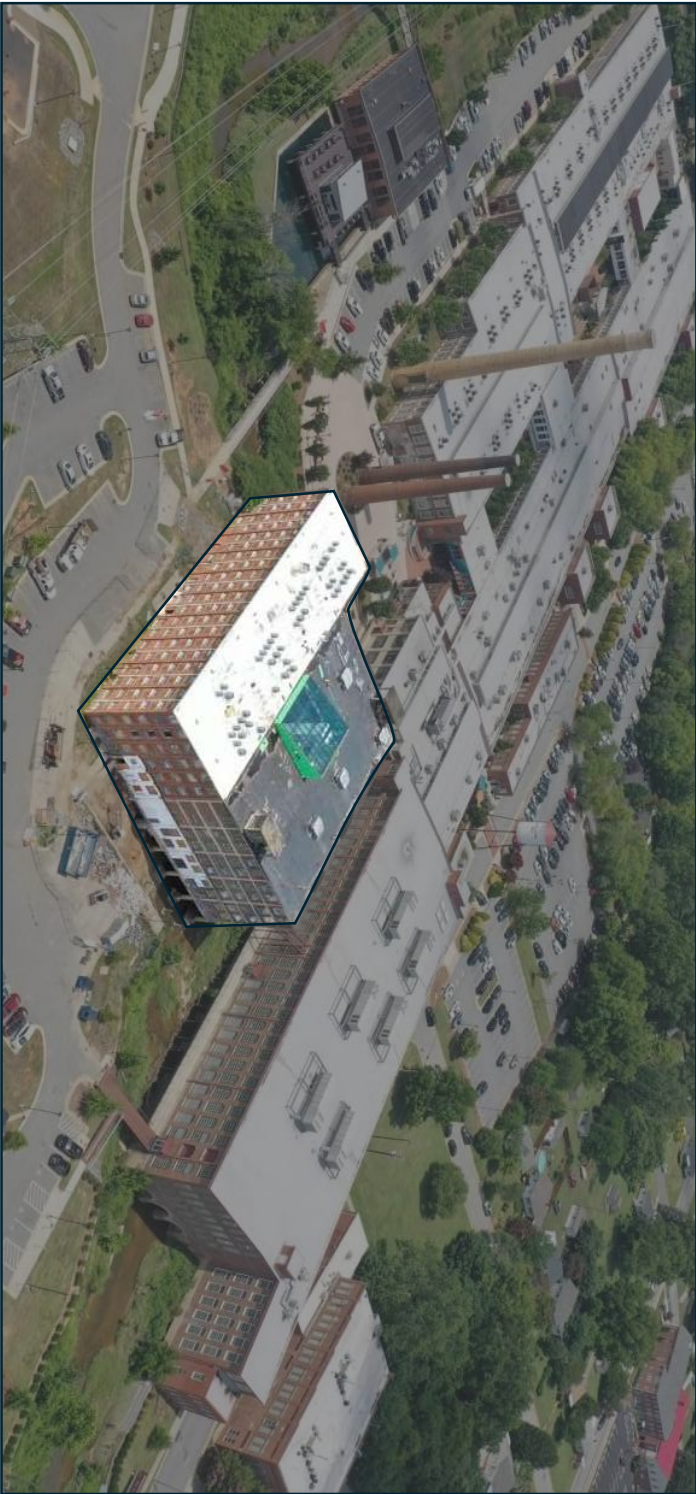
Source: HPOWEB.2.0



# Aerial Photos



Photo of Mill House Exterior looking north.



Aerial view looking northwest; Mill House is highlighted with the landmarked Revolution Mill in the background.



Aerial view looking north; Mill House is highlighted with the landmarked Revolution Mill in the background.



# Mill House Photos



Photo of Mill House Exterior looking northwest.



North Entry



East Elevation - 2024



West Elevation - 2024

## Statement of Significance: Mill House

Significance was determined in 1984 when the property was placed on the National Register of Historic Places.

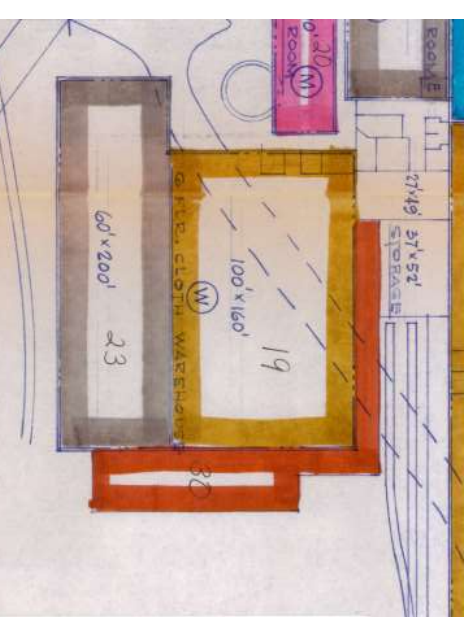
Mill House is located at 2005 Yanceyville Street in Greensboro, NC. The 5-story building is located within the southwest corner of the Revolution Cotton Mill. In 1984, the Mill was listed on the National Register of Historic Places. The Mill ceased operating in February of 1982.

The Mill House building originally dates to 1915 and was expanded twice. The first building (#19) was 100'x160' and is estimated to be constructed in 1915. In 1935, Mill House was expanded (#23) by a new section of 60'x200' used for with further alterations (#30) to add loading docks on the northern side dating post-1950.

The Mill House was a storage building and cloth warehouse to support the textile production in the adjacent buildings of the Revolution Mill. Building 19 was built south of the storage/shipping/office building and is a separate five-story structure with a size of 100 X 160 feet, probably built shortly after 1915. According to the 1925 Sanborn Map, it was used for the storage of finish goods.

This building exhibits a more advanced form of the standard mill construction, using reinforced concrete rather than wood. Round concrete posts support steel joists and concrete floors on the interior. The bays and floor levels are visually divided on the exterior by concrete vertical and horizontal bands. Walls are surfaced in Flemish bond brick. Each of the five bays on the east facade has two twenty-light windows, except for the south bay, in which one of the windows has only ten lights. The windows of this building are set within rectangular, rather than arched, openings. A corrugated metal loading dock has been added to the east end of the building in recent years (#30). North Buffalo Creek continues its path beneath this building.

A prominent example of the era's Mill expansion is the six-story addition to the ca. 1916 Flemish bond and concrete storage building. Built in the 1930s, the addition (#23) measures 60 X 200 feet, and is a common bond brick structure, six bays wide (across the east end) and twenty bays deep (along the south side). The bays are divided by brick pilasters. Fifteen-light rectangular windows are used on the east facade, while ten-light windows are found on the south elevation. The rear of the building, like the storage building it adjoins, is raised on concrete piers as protection against the North Buffalo Creek which runs beneath its northwest corner.



## Diagram of Mill House's Additions

Source: NRHP 2084002324 from 1984

Key	Date	Use
#19	1916	Cloth Warehouse
#23	1935	Expanded Storage
#30	1950+	Loading Docks

Source: National Register of Historic Places, 1984

## **Statement of Significance, continued**

### **Revolution Cotton Mills**

Built in 1899-1900 in Greensboro as a joint venture of the prominent Cone and Sternberger families, the Revolution Cotton Mills is an example of the diversification which took place in the Southern textile industry during the late nineteenth and early twentieth centuries. Revolution Mills' particular significance lies in the fact that it was reputed to be the first flannel mill in the South, at a time when flannel was an increasingly popular fabric. By the 1930's, Revolution Cotton Mills had become the largest exclusive flannel producer in the world. The mill remains the most intact of the turn-of-the century Cone-affiliated textile mills in Greensboro.

The Revolution Cotton Mills is associated with the early twentieth century industrial development of Greensboro and with the innovations in the Southern textile industry which occurred during the late nineteenth and early twentieth centuries.

The Revolution Cotton Mills is associated with the lives of various members of the Cone and Sternberger families of Greensboro. These families not only served as industrial leaders (in the case of the Cones, well beyond the confines of Greensboro), but as community leaders who contributed substantially to numerous philanthropic endeavors through the years.

The Revolution Cotton Mills embodies the distinctive characteristics of standard textile mill construction of the late nineteenth and early twentieth centuries, incorporating the "slow burning construction" and good lighting and ventilation prescribed by factory insurance companies of the period. It is the most intact of the early twentieth century textile mills in Greensboro.

Its significance is based on multiple factors including its role in the Southern textile industry as the reputed first flannel mill in the South and by the 1930's, Revolution Cotton Mills had become the largest exclusive flannel producer in the world. Prior to its redevelopment, the mill remained as the most intact of the turn-of-the 20<sup>th</sup> century Cone-affiliated textile mills in Greensboro.



## Architectural Description

- Renovation was completed in April 2023 and the Mill House now operates as a mixed-use development with 33 market rate multifamily apartment units, totaling approximately 52,153 square feet, and 67,797 square feet of retail and office space planned for the lower floors.
- The building remains 5-stories and the remodel highlights its unique features, which include cast concrete columns, a central skylight atrium, glass elevator, and rooftop solar energy installation
- Architectural Integrity
  - Exterior: The building maintains its original brick façade and industrial design elements.
  - Interior: Features such as original concrete floors, exposed beams, and large windows have been preserved, showcasing the building's industrial architecture.
- Restoration Efforts: The renovation project adhered to the Secretary of the Interior's Standards for Rehabilitation, ensuring that the building's historic character was maintained. Part 3 was issued
- Historical Significance
  - For a thorough explanation of the historical significance of Mill House, please refer to Appendix for the 1984 National Register Nomination Form, Section 8: Significance (pages 9-16).

# Historical Description

## Mill House (2005 Yanceyville Street)

- Revolution Mill House began construction in 1915. Built in two phases between 1915 and 1935, the historic five-story building now blends modern aesthetics with industrial heritage, boasting original brick walls, expansive windows, exposed concrete pillars, and polished concrete floors. Significantly, the structure is built atop the recently restored North Buffalo Creek and is situated adjacent to public gathering areas known as “The Stacks” and “The Docks.”
- In 2023, the Mill House was renovated and opened for a variety of residential and commercial uses. On the first floor, “The Grove” offers flexible office spaces tailored for new businesses, entrepreneurs, freelancers, and three retailers. There are Class A commercial office spaces on the second and third floors. There is a 6,000 square foot restaurant within the project, and adjacent to 2005, an upcoming hospitality area is in the works, set to introduce a tap room, bar, additional restaurants and retail spaces in 2025.
- The \$38 million dollar project was made possible with \$5.5 million in New Market Tax Credits, \$5 million in Federal Historic Tax Credit investment, and \$6.7 million in State Historic Tax Credit Investment, along with Self-Help’s significant investment.

## Revolution Mill

- Revolution Mill is a revitalized former Cone Mills textile factory spanning 45 acres and located just two miles outside downtown Greensboro. The 800,000 square foot development has transformed into a vibrant hub featuring shops, offices, restaurants, and apartments, and 2005 Revolution Mill, a \$38 million mixed-use commercial and residential project, stands as a testament to this transformative vision.
- Since 2012, Revolution Mill, under the stewardship of developer-owner Self-Help, has revitalized the south’s first and largest cotton flannel mill (circa 1899) and transformed the campus into a vibrant hub featuring shops, offices, restaurants, and apartments. With a total investment-to-date of \$140 million, the campus now hosts 140 companies, employs 1,250 workers daily, and offers 345,000 SF of creative and office space, with 184 loft-style apartments home to 270 residents. Notable dining establishments on the campus include Cugino Forno wood-fired pizza, Kau Butchery and Restaurant, Peaces of Her/Mindful Supply smoothies & salad shop, and Black Magnolia Patisserie bakery.



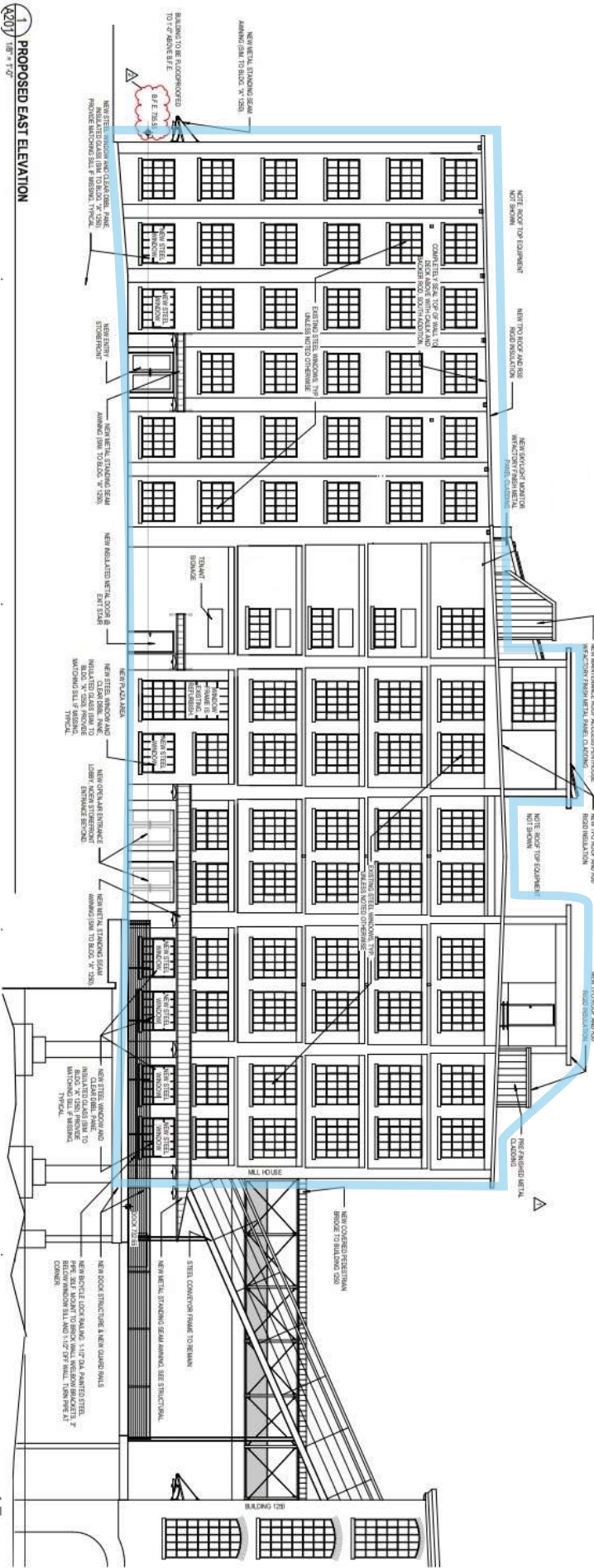


East Elevation

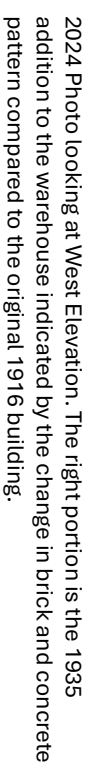
Proposed Exterior Designation



2024 Photo looking at East Elevation. The left portion of the building is the 1935 addition to the warehouse indicated by the change in brick and concrete pattern compared to the original 1916 building.

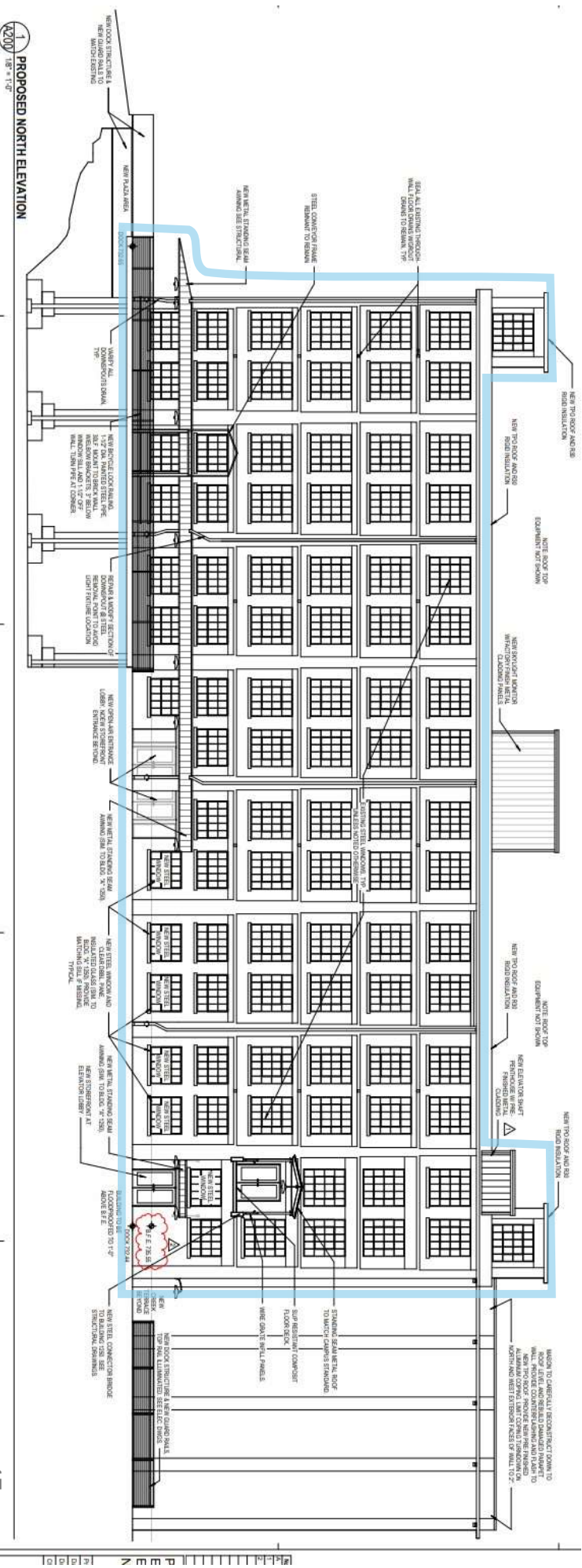


## Proposed Exterior Designation

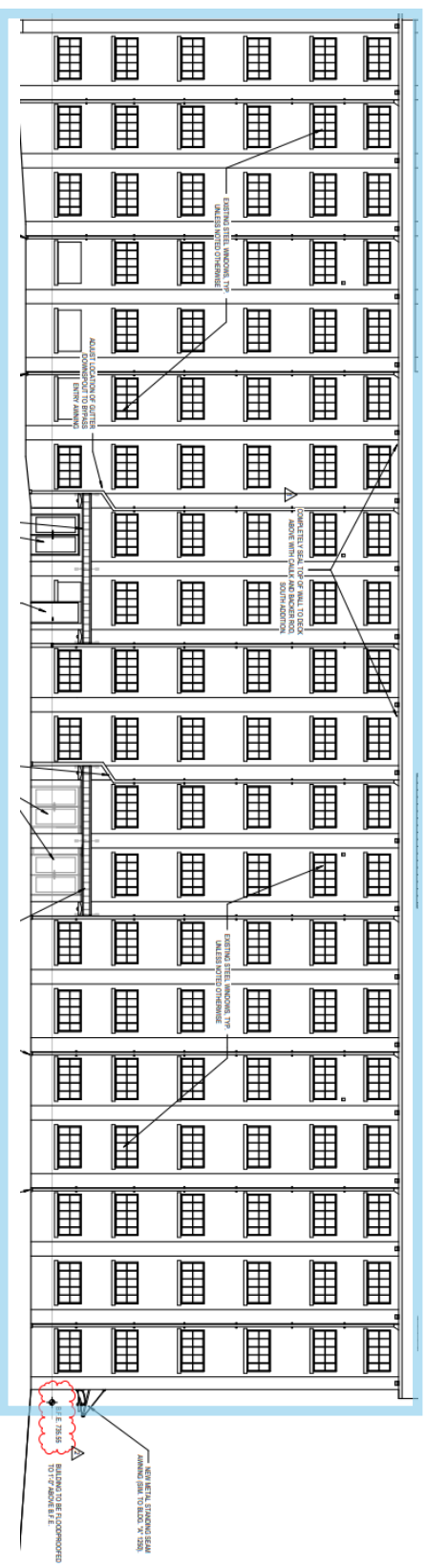




## Proposed Exterior Designation



## A tall, multi-story brick building with a classic architectural style. The words "REVOLUTION" and "MILL" are prominently displayed in large, white, serif capital letters, stacked vertically on the right side of the building's facade. The building features numerous rectangular windows with white frames. At the base of the building, there are entrances with small awnings and signs, including one that says "KITCHEN". The building is situated on a street corner, with a paved sidewalk and a road in the foreground. Trees and other buildings are visible in the background under a clear sky.



## **Floor Plans – Proposed Interior Designated Elements**

We are proposing to designate the following interior elements based on historic and architectural significance:

- Original cast-in-place concrete columns on each floor, a significant architectural element of the 1915 industrial warehouse
- Brick wall dividing the original 1915 portion of the building from the 1935 addition. This wall was the original south façade of the building, with original door and window openings still visible on the interior of the buildings.

## Proposed Exterior Designation





Proposed Exterior Designation

Proposed Interior Designation



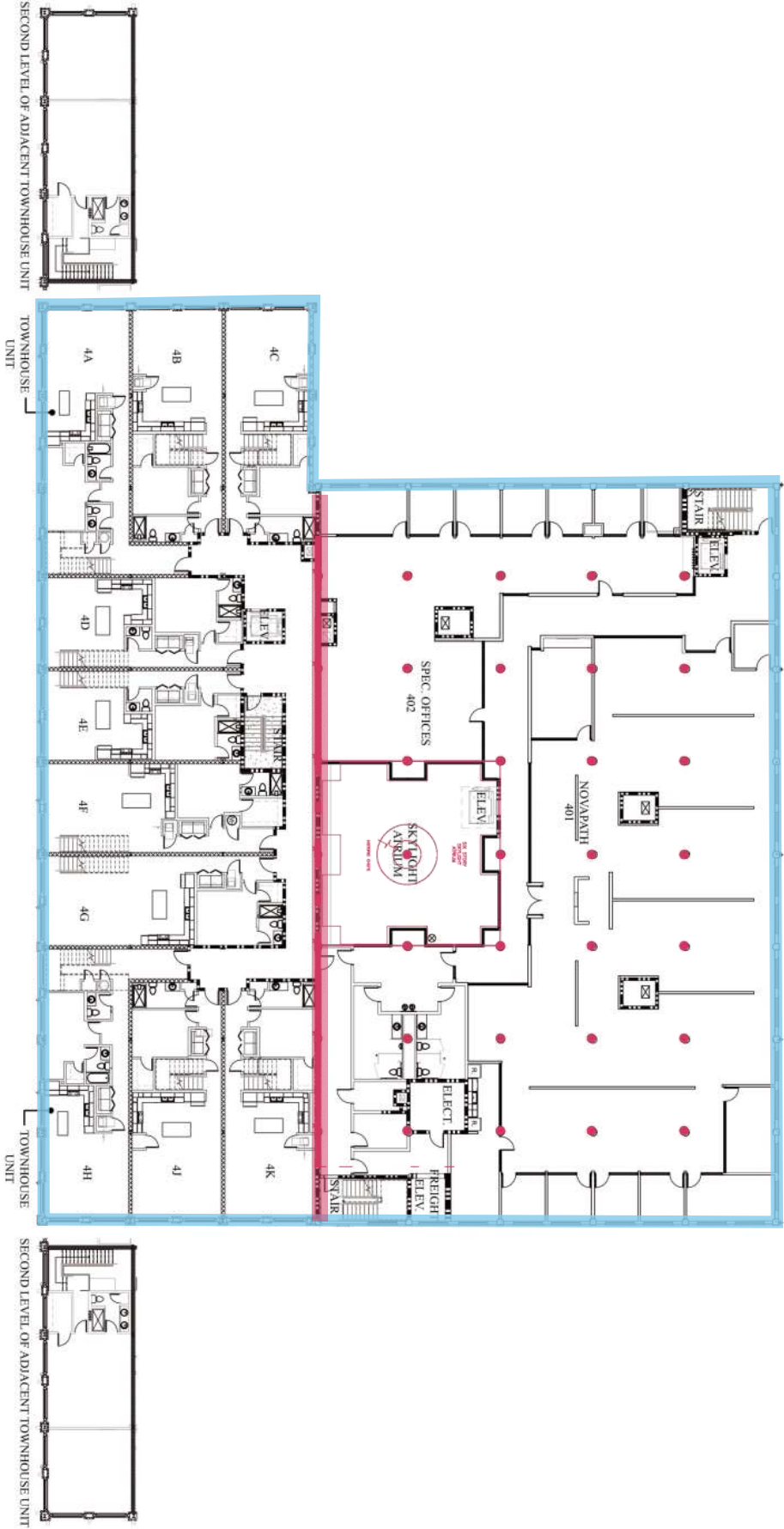




Level 4

Proposed Exterior Designation

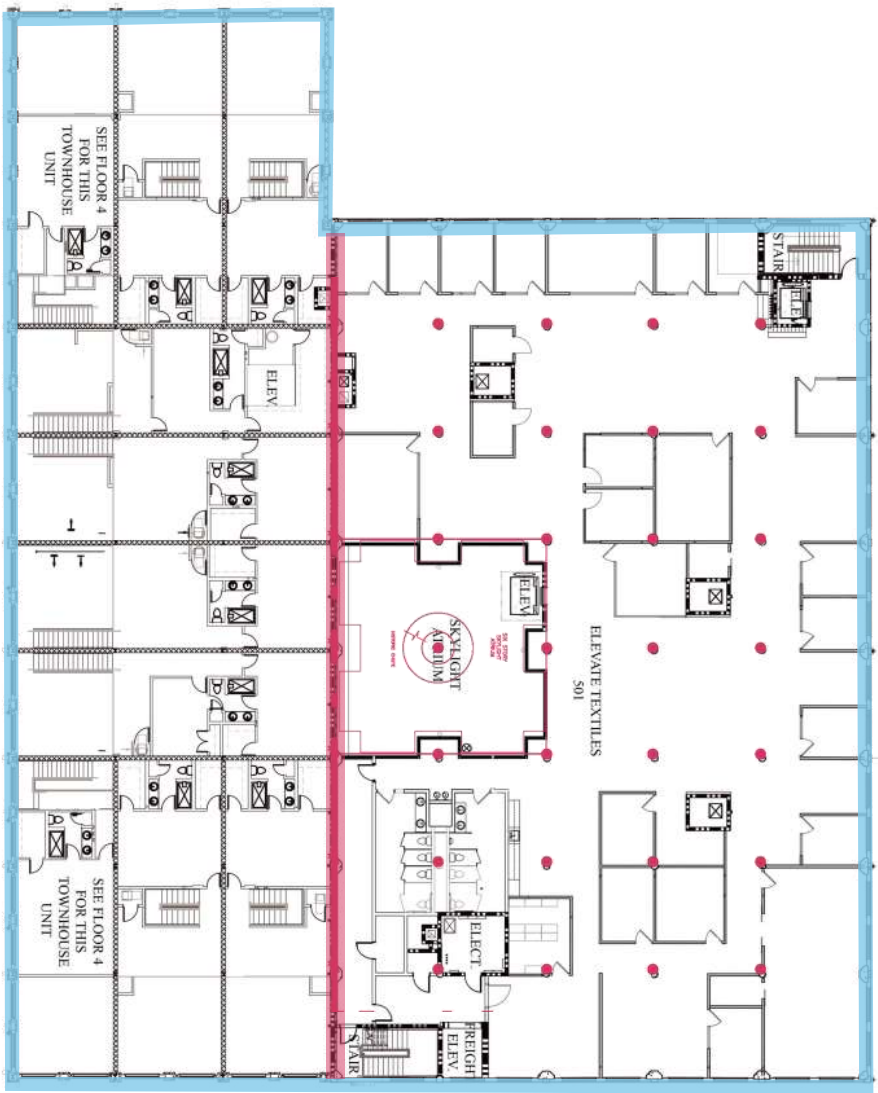
Proposed Interior Designation



Level 5

Proposed Exterior Designation

Proposed Interior Designation



MILL HOUSE  
FIFTH FLOOR  
1/2" = 1'-0"



24  
A105

5TH FLOOR  
PLAN

SHEET CONTAINS

DATE: 10/20/2010  
PROJECT: MILL HOUSE  
FLOOR: 5TH FLOOR  
PLAN: 5TH FLOOR PLAN

Project Name: MILL HOUSE  
Owner: REVOLUTION MILL  
Architect: BSA ARCHITECTURE

**MILL HOUSE**  
CA. 1915 / 1930  
@  
REVOLUTION MILL  
2005 YANCEYVILLE STREET, GREENSBORO, NC

CONTRACT NUMBER

**GT WILSON**  
CONSTRUCTION

301 West Main Street  
Greensboro, NC 27401  
478.340.1111

**SelfHelp**  
CONSTRUCTION

2012 NC State Architectural  
Examination  
Passing Score: 75%  
Candidate Score: 75%  
Candidate Name: [REDACTED]  
Candidate ID: [REDACTED]  
Candidate Status: [REDACTED]



722 South Street  
Greensboro, NC 27401  
478.340.1111  
ARCHITECT: BSA ARCHITECTURE

**BSA**  
architecture



Select Interior  
Photos

See Appendix for  
entire collection

Select Mill House Interior  
Photos from 2025 showing the  
NPS approved updates to the  
building; Part 3 received on May  
27, 2025



Lobby's glass elevator and stairs



Level 1 central lobby area



Typical window and wall construction



Typical Interior Common Area looking into an office



Level 1 central lobby area displaying the original columns

# Ownership & Deed Information

# Ownership Record – Mill House Parcel

Grantors	Grantees	Date	Reference
Cone Mills Corp	Revolution Associates I	September 12, 1983	Book 3314, Page 65
Revolution Associates I	Mega Storage Associates	December 22, 1986	Book 3557, Page 456
Mega Storage LLC	Cook Street LLC	September 28, 2005	Book 6409, Page 2190
Cook Street LLC Mega Storage LLC	Revolution Mill House, LLC	September 18, 2007	Book 6788, Page 2970
Revolution Mill House, LLC	SHVF Mill House, LLC	April 2, 2015	Book R7689, Page 133-136

Recording Time, Book and Page

Mail after recording to Hines, Bruce & Osborn  
215 E. Wash. Ave. Wash.-S.E. No. 2710)  
Rock Blvd.  
This instrument was prepared by  
Charles P. Younce, Attorney at Law  
Brief description for the Index

GRANTOR	GRANTEE
THIS DEED made this 24th day of September	1903
	ON and between

ONE HILLS CORPORATION, a North Carolina corporation, 1201 Maple Street Greensboro, North Carolina 27405	REVOLUTION ASSOCIATES I, a North Carolina limited partnership, c/o ISC Partners P. O. Box 21 Winston-Salem, North Carolina 27102
--	--

Enter in appropriate block for each party: name, address, and, if appropriate, character of entity, e.g. corporation or partnership.

**The designation Grantor and Grantee as used herein shall include said parties, their heirs, successors, and assigns, and shall include singular, plural, masculine, feminine or neuter as required by context.**

**WITNESSETH**, that the Grantor, for a valuable consideration paid by the Grantee, the receipt of which is hereby acknowledged, has and by these presents does grant, bargain, sell and convey unto the Grantee in fee simple, all that certain lot or parcel of land situated in the City of **Greensboro** **Morched** Township, **County, North Carolina** and more particularly described as follows:

BEGINNING at Iron pin, said beginning point being the point of intersection of the southern margin of 9th Street with the western margin of Yanceyville Street, and running North 22° 22' 00" East 140.36 feet to an iron pin; thence from the point of beginning South 11 deg. 22 min. West a chord distance of 655.33 feet to an iron pin; thence with a curve to the right South 11 deg. 22 min. West a chord distance of 655.33 feet to an iron pin; thence from the point of beginning North 22° 22' 00" East 140.36 feet to an iron pin; thence with a curve to the right South 11 deg. 22 min. West a chord distance of 655.33 feet to an iron pin; thence South 82 deg. 05 min. West 518.61 feet to an iron pin; thence South 55 deg. 33 min. 2 sec. West 228.60 feet to an iron pin in the centerline of the Southern Railway main line; thence with said centerline of the Southern Railway main line the following courses and distances: North 05 deg. 35 min. 30 sec. East 576.61 feet to an iron pin; North 06 deg. 39 min. East 201.68 feet to an iron pin; North 09 deg. 32 min. East 200.51 feet to an iron pin; North 12 deg. 55 min. East 200.01 feet to an iron pin; North 16 deg. 22 min. East 200.01 feet to an iron pin; North 20 deg. 01 min. East 232.63 feet to an iron pin in the southern margin of Cornwallis Drive; thence with the southern margin of Cornwallis Drive South 85 deg. 50 min. 30 sec. East 97.22 feet to an iron pin; thence South 03 deg. 40 min. East 537.00 feet to an iron pin; thence South 86 deg. 03 min. East 158.04 feet to an iron pin in the western margin of Hubbard Street; thence South 86 deg. 55 min. East 49.68 feet to an iron pin; thence South 85 deg. 35 min. East 149.90 feet to an iron pin; thence North 03 deg. 38 min. East 121.07 feet to an iron pin; thence South 45 deg. 40 min. East 170.08 feet to an iron pin in the western margin of Cypress Street;

BK3314 PG0065

The property hereinabove described was acquired by Grantor by instrument recorded in


A map showing the above described property is recorded in Part Book \_\_\_\_\_ page \_\_\_\_\_

**TO HAVE AND TO HOLD** the aforesaid lot or parcel of land and all privileges and appurtenances thereto belonging to \_\_\_\_\_

the Grantee in fee simple.

And the Grantee covenants, with the Grantor, that Grantor is seized of the premises in fee simple, has the right to convey the same in fee simple, that title is marketable, that the premises are not subject to any lien, mortgage, or other encumbrance of the same in fee simple. That title is marketable except for the exceptions hereinafter stated. Title to the property hereinafter described is subject to the following exceptions:

All restrictions, easements, and rights of way of record, and those restrictions, easements and rights of way shown and referred to on the attached survey.



555 312 3784 00001.50 0

ONLY (SEAL)

CONFIDENTIAL CORPORATION  
Corporate Name

By: *John J. [Signature]*

Notary Public for the State of New York  
My Commission Expires on 12/31/2012  
Notary Public for the State of New York  
My Commission Expires on 12/31/2012

EXECUTIVE Vice President  
 ATTEST: *Marion H. Chandler*  
 555 #125782 #0855.00 \$  
 (SEAL) (SEAL)


Assistant Secretary (Corporate Seal)  
SEAL-STAMP  
NORTH CAROLINA, .....County: .....  
555 W 125783 @000550  
.....(SEAL)

Use Black Ink

I, Notary Public of the County and State aforesaid, certify that \_\_\_\_\_, SSN 12-3456789, DOB 01/01/1980, F previously appeared before me this day, and acknowledged the execution of the foregoing instrument. Witness my hand and official stamp or seal, this \_\_\_\_\_ day of \_\_\_\_\_, 19\_\_\_\_.

My commission expires: \_\_\_\_\_

Notary Public


 Use Black Ink  
 I, a Notary Public of the County and State aforesaid, certify that **Marie H. Harder**  
 Properly examined before me this day and acknowledged that **S. W. H. Assistant Secretary of**  
**Combs Mills Corporation** a South Carolina corporation, and that **Dr. J. H. Hutchins**  
 Vice-President of the said corporation, both of whom were signed Assistant Cashier  
**Wages**, acting with its corporate seal and authorized by **Her** September  
 Minutes my said seal and official stamp or seal, this **12th** day of  
**October 1, 1933** *Margaret R. Spohn* Secretary.  
 My commission expires:

The foregoing is a true and correct copy of the original of the  
 SEP 12 1891  
*public* *Marysout N. Smith* *a voting*  
 It is returned to the person who presented it for the purpose of  
 to be entered. This instrument and this certificate are duly registered at the date and time and in the Book and Page shown on the  
 the page shown.

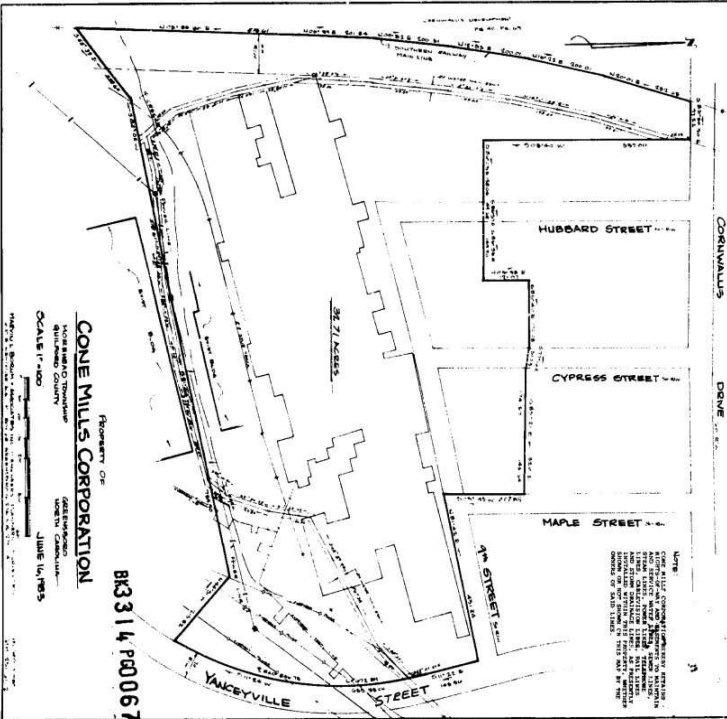
KEY E. PRINCEALUBA  
 REGISTER OF DEEDS FOR  
 GUILFORD  
 COUNTY

*Patience Summers*  
 By \_\_\_\_\_ Register of Deeds

BR3314 P60066



I, Marvin L. Borum, certify that under  
 my direction and supervision this map  
 was drawn from an actual survey by me,  
 deed description recorded in Book  
 Page 1 that the error of closure as  
 calculated by latitudes and departure  
 is 1:10,000; that this map was prepared  
 in accordance with G.S. 47-30 as amended,  
 that the development is within the  
 Corporate Limits of the City of Greens-  
 boro. Witness my hand and seal this  
 14th day of ~~Aug~~ Sept 1983.  
~~Marvin L. Borum~~ David A. Pickett Surveyor  
 Subscribed and sworn to before me  
 this day of Sept, 1983.  
David A. Pickett Notary Public  
 My commission expires 12-15-86



226666  
RECORDED  
KAY, PATSEAVOURAS  
REGISTER OF DEEDS  
GUILFORD COUNTY, NC  
JAN 9 1 34 PM '87

### Exercise Two

Recording Time, Book and Page

Tax Lot No. .... Parcel Identifier No. ....  
Verified by ..... County on the ..... day of ..... 226665 - 19  
by ..... 1 DEEDS ..... 4-00  
..... 3 DEEDS JOHN PAMELY .....  
..... 1 PROBATE FILE ..... 1-00

Mall after recording to : Richard H. Hicks, Jr., P.O. Box 297,  
Greensboro, N.C. 27402  
This instrument was prepared by Richard H. Hicks, Jr., Attorney at Law  
Brief description for the index

**NORTH CAROLINA GENERAL WARRANTY DEED**

THIS DEED made this one day of December, 1986, by and between

REVOLUTION ASSOCIATES I,  
a North Carolina Limited  
Partnership

MEGA STORAGE ASSOCIATES,  
a North Carolina General  
Partnership  
c/o Armfield Properties  
4815 Silabert Avenue  
Charlotte, N.C. 28205

1 EXCISE TAX STAMP

360. 68

Enter in appropriate block for each party: name, address, and, if appropriate, character of entity, e.g. corporation or partnership.

The designation Grantor and Grantee as used herein shall include said parties, their heirs, successors, and assigns, and shall include singular, plural, masculine, feminine or neuter as required by context.

WITNESSETH, that the Grantor, for a valuable consideration paid by the Grantee, the receipt of which is hereby acknowledged, has and by these presents does grant, bargain, sell and convey unto the Grantee in fee simple, all that certain lot or parcel of land situated in the City of Greensboro, Glimer Township,

Refer to Exhibit A, Description of Real Property which is attached to this deed and incorporated herein by reference as if fully set forth.

N.C. BAR ASSOC. FORM NO. 1-D 1976, REVISED 1977  
Printed by Agreement with the N.C. Bar Assoc. 1981.

CAROLINA OFFICE MACHINES AND OFFICE SUPPLIES, INC., GREENSBORO, NC 27406, (813) 276-267

BK3557 PG0456

The property hereinabove described was acquired by Grantor by instrument recorded in ...Book 3314

Page 65, Guilford County Public Registry

A map showing the above described property is recorded in Plat Book 84 page 17.

TO HAVE AND TO HOLD the aforesaid lot or parcel of land and all privileges and appurtenances thereto belonging to the Grantee in fee simple.

And the Grantor covenants with the Grantee, that Grantor is seized of the premises in fee simple, has the right to convey the same in fee simple, that title is marketable and free and clear of all encumbrances, and that Grantor will warrant and defend the title against the lawful claims of all persons whomsoever except for the exceptions hereinafter stated.

Title to the property hereinabove described is subject to the following exceptions:

Easements, covenants, restrictions and rights-of-way appearing of record which affect the property and which are legally enforceable.

IN WITNESS WHEREOF, The Grantor has caused this instrument to be signed by its three General Partners, and sealed as of the date and year first above written, all by authority duly given.

-----  
(Corporate Name)

By: David Neil General Partner (REAL)

ATTEST:  
BLACK  
By:  (SEAL)  
William G. Benton, General Partner

-Secretary (Corporate Seal)

**SEAL-STAMP**

**USE BLACK INK ONLY**

NORTH CAROLINA, .....County.

I, a Notary Public of the County and State aforesaid, certify that: .....

**Grable**

personally appeared before me this day and acknowledged the execution of the foregoing instrument. Witness my hand and official stamp or seal, this \_\_\_\_\_ day of \_\_\_\_\_, 19\_\_\_\_.

My commission expires: ..... Notary Public

SEAL-STAMP

NORTH CAROLINA, .....County.

I, a Notary Public of the County and State aforesaid, certify that ..... personally came before me this day and acknowledged that .... He is ..... Secretary of

..... a North Carolina corporation, and that by authority and  
 given and at the act of the corporation, the foregoing instrument was signed in its name by its  
 President, sealed with its corporate seal and attested by ..... as its ..... Secretary  
 Witness my hand and official stamp or seal, this ..... day of ..... 19.....

My commission expires: ..... Notary Public

### The foregoing Certificate

I/A/E certified to be correct. This instrument and this certificate are duly registered at the date and time and in the Book and Page shown on it first page hereof.

COUNT

Deputy/Assistant - Registrar of Deeds

BK3557PG0457

N.C. Bar Assoc. Form No. 7 © 1976, Revised 1977.



STATE OF NORTH CAROLINA  
COUNTY OF FORSYTH

I, Suzanne M. Dorsey, a Notary Public for said State and County, do hereby certify that DeWayne H. Anderson, and William G. Benton, General Partners of Revolution Associates I, a North Carolina limited partnership, personally appeared before me this day and acknowledged the due execution of the foregoing instrument for and on behalf of said limited partnership.

WITNESS my hand and notarial seal, this 22 day of December, 1986.



Suzanne M. Dorsey  
Notary Public

STATE OF NORTH CAROLINA  
COUNTY OF WAYNE

I, Suzanne M. Dorsey, a Notary Public for said State and County, do hereby certify that David Well, General Partner of Revolution Associates I, a North Carolina limited partnership, personally appeared before me this day and acknowledged the due execution of the foregoing instrument for and on behalf of said limited partnership.

WITNESS my hand and notarial seal, this 22 day of December, 1986.



Suzanne M. Dorsey  
Notary Public

STATE OF NORTH CAROLINA  
COUNTY OF FORSYTH

I, Suzanne M. Dorsey, a Notary Public for said State and County, do hereby certify that Revolution Associates I, a North Carolina limited partnership, personally appeared before me this day and acknowledged the due execution of the foregoing instrument for and on behalf of said limited partnership.

WITNESS my hand and notarial seal, this 22 day of December, 1986.

My Commission Expires: \_\_\_\_\_  
Notary Public

Notary Public - Guilford County  
The Notary Public is hereby certified to  
execute and acknowledge the foregoing  
instrument for and on behalf of said  
partnership, personally appearing before  
me this day and acknowledged the due  
execution of the foregoing instrument for  
and on behalf of said limited partnership.

BK3557P60458

Description of Real Property

All that certain tract of parcel of real property situate, lying and being in the City of Greensboro, Glimmer Township, Guilford County, North Carolina, and more particularly described as follows:

BEGINNING at an iron pin located in the western margin of Yanceyville Street, said iron pin being located a total distance of 166.39 feet generally South of the point of intersection of the southern margin of 9th Street with the western margin of Yanceyville Street and running thence from the point of beginning along the western margin of Yanceyville Street a chord bearing and distance of South 02 deg. 40 min. West 365.96 feet to an iron pin in the western margin of Yanceyville Street; thence leaving the western margin of Yanceyville Street and running North 32 deg. 32 min. West 45.73 feet to an iron pin; thence South 32 deg. 28 min. West 130.91 feet to an iron pin; thence South 79 deg. 21 min. West 55.54 feet to an iron pin; thence North 23 deg. 06 min. East 169.05 feet to an iron pin; thence North 66 deg. 06 min. West 60.00 feet to an iron pin; thence North 11 deg. 57 min. West 71.14 feet to an iron pin; thence North 78 deg. 03 min. West 28.26 feet to an iron pin; thence North 58 deg. 44 min. West 33.33 feet to an iron pin; thence North 11 deg. 57 min. West 67.47 feet to an iron pin; thence North 78 deg. 03 min. East 11.56 feet to an iron pin; thence a chord bearing and distance of North 33 deg. 57 min. West 72.50 feet to an iron pin; thence North 11 deg. 03 min. East 39.48 feet to an iron pin; thence South 11 deg. 03 min. East 176.15 feet to an iron pin; thence North 71 deg. 23 min. East 176.15 feet to the point or place of BEGINNING, same containing 3.481 acres, more or less, same being all of the property shown and described on plat of survey entitled "Property of Revolution Associates I," as recorded in plat Book 84, Page 17, in the Office of the Register of Deeds of Guilford County, North Carolina.

And being a portion of the property conveyed by Cone Mills Corporation to Revolution Associates I, by deed dated September 12, 1983, and recorded in Book 314, Page 65, in the Office of the Register of Deeds of Guilford County, North Carolina.

The foregoing description is based on survey entitled "Property of Mega Storage Associates," prepared by Marvin L. Borum & Associates, Surveyors, dated November 7, 1986.

EXHIBIT A

BK3557P60459

OCT 03 2005

RECORDED - 009197  
 JEFF L. THIGPEN  
 REGISTER OF DEEDS  
 GUILFORD COUNTY, NC  
 BOOK: 6409  
 PAGE(S): 2190 TO 2192  
 10/03/2005 11:25:24

10/03/2005 GUILFORD CO., NC  
 1 DEEDS 9797 \$12.00  
 2 DEEDS ADDN PGS \$6.00  
 1 PROBATE FEE \$2.00

## NORTH CAROLINA SPECIAL WARRANTY DEED

Excise Tax -0- (For Business Convenience)

Tax Lot No. \_\_\_\_\_ Parcel Identifier No. 00-0251-0 BIK 0061-00 Pct 003

Verified by \_\_\_\_\_ County on the \_\_\_\_\_ day of \_\_\_\_\_

By \_\_\_\_\_

Mail after recording to Robinson, Bradshaw &amp; Hinson, P.A.

101 N. Tryon Street, Suite 1900, Charlotte, NC 28246

This instrument was prepared by Robinson, Bradshaw &amp; Hinson, P.A. (RW/A) (no title examination)

Brief description for the Index

50% undivided interest 3.481 acres

THIS DEED made this 28th day of September, 2005, by and between

## GRANTOR

MEGA STORAGE LLC, a North Carolina  
 limited liability company  
 4815 Slibert Avenue  
 Charlotte, NC 28205

## GRANTEE

COOK STREET LLC, a North Carolina limited  
 liability company  
 1100 East Morehead Street  
 Charlotte, NC 28204

Enter in appropriate block for each party: name, address, and, if appropriate, character of entity, e.g. corporation or partnership.

The designation Grantor and Grantee as used herein shall include said parties, their heirs, successors, and assigns, and shall include singular, plural, masculine, feminine or neuter as required by context.

WITNESSETH, that the Grantor, for a valuable consideration paid by the Grantee, the receipt of which is hereby acknowledged, has and by these presents does grant, bargain, sell and convey unto the Grantee in fee simple, an undivided 50% interest in and to all that certain lot or parcel of land situated in the City of \_\_\_\_\_, Glinnet Township, Guilford County, North Carolina and more particularly described as follows:

See EXHIBIT A attached hereto and incorporated herein by reference

C-946657v1 13438.00010

002191

The property hereinabove described was acquired by Grantor by instrument recorded in Book 4536, at Page 1582, in the  
 Guilford County Register of Deeds.

A map showing the above described property is recorded in Plat Book \_\_\_\_\_, page \_\_\_\_\_.

TO HAVE AND TO HOLD the undivided 50% interest in and to the aforesaid lot or parcel of land and all privileges and appurtenances thereto belonging to the Grantee in fee simple.

And the Grantor covenants with the Grantee, that Grantor has done nothing to impair such title as Grantor received and that Grantor will warrant and defend the title against the lawful claims of all persons claiming by, under or through Grantor whomsoever except for the exceptions hereinafter stated. Title to the property hereinabove described is subject to the following exceptions:

1. The lien of ad valorem taxes for 2005 and subsequent years;
2. All valid and enforceable easements and restrictions of record; and
3. The lien of that Deed of Trust in favor of Branch Banking and Trust Company in the original amount of \$600,000.00 recorded in Book 5364, Page 1505 in the Guilford County Public Registry, one-half of the balance of which the Grantee assumes and agrees to pay by the acceptance of this Deed.

IN WITNESS WHEREOF, the Grantor has caused this instrument to be duly executed, the day and year first above written.

MEGA STORAGE LLC, a North Carolina limited  
 liability company

By: George W. Armfield, Jr., Manager

USE BLACK INK ONLY

SEAL - STAMP

Use Black Ink

NORTH CAROLINA, Mecklenburg County.  
 I, a Notary Public of the County and State aforesaid, certify that George W. Armfield, Jr., Manager of MEGA STORAGE LLC, a North Carolina limited liability company, Grantor, personally appeared before me this day and acknowledged the execution of the foregoing instrument. Witness my hand and official stamp or seal, this 28th day of September, 2005.

My commission expires: February 8, 2010 Manager, MEGA STORAGE LLC Public

C-946657v1 13438.00010

EXHIBIT A - Description of Real Property

All that certain tract or parcel of real property situate, lying and being in the City of Greensboro, Gilmer Township, Guilford County, North Carolina, and more particularly described as follows:

BEGINNING at an iron pin located in the western margin of Yanceyville Street, said iron pin being located a total distance of 166.39 feet generally South of the point of intersection of the southern margin of 9th Street with the western margin of Yanceyville Street; and running thence from the point of beginning along the western margin of Yanceyville Street a chord bearing and distance of South 02 deg. 40 min. West 365.96 feet to an iron pin in the western margin of Yanceyville Street; thence leaving the western margin of Yanceyville Street and running North 52 deg. 32 min. West 45.73 feet to an iron pin; thence South 37 deg. 28 min. West 130.91 feet to an iron pin; thence North 79 deg. 21 min. West 55.54 feet to an iron pin; thence North 66 deg. 06 min. West 169.05 feet to an iron pin; thence North 23 deg. 57 min. East 33.03 feet to an iron pin; thence North 11 deg. 06 min. West 60.00 feet to an iron pin; thence North 78 deg. 03 min. West 71.14 feet to an iron pin; thence South 58 deg. 44 min. West 28.26 feet to an iron pin; thence North 11 deg. 57 min. West 67.47 feet to an iron pin; thence North 78 deg. 03 min. East 11.56 feet to an iron pin; thence a chord bearing and distance of North 33 deg. 22 min. East 38.72 feet to an iron pin; thence North 11 deg. 57 min. West 72.50 feet to an iron pin; thence North 78 deg. 03 min. East 39.48 feet to an iron pin; thence North 71 deg. 23 min. East 59.92 feet to an iron pin; located in the western margin of Yanceyville Street, the point or place of BEGINNING; same containing 3.481 acres, more or less, same being all of the property shown and described on plat of survey entitled "Property of Revolution Associates I," as recorded in Plat Book 84, Page 17, in the Office of the Register of Deeds of Guilford County, North Carolina.

And being a portion of the property conveyed by Cone Mills Corporation to Revolution Associates I, by deed dated September 12, 1983, and recorded in Book 3314, Page 65, in the Office of the Register of Deeds of Guilford County, North Carolina.

The foregoing description is based on survey entitled "Property of Mega Storage Associates," prepared by Marvin L. Borum & Associates, Surveyors, dated November 7, 1986.



2007077483

GUILFORD CO, NC FEE \$23.00  
STATE OF NC REAL ESTATE EXTJ

\$3656.00

UNRECORDED &amp; RECORDED

09-18-2007 10:07:48 AM

JEFF L. THOMPEN

REGISTER OF DEEDS

RECORDING COURSE

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## NORTH CAROLINA GENERAL WARRANTY DEED

Plu Welburs

Excise Tax: \$ 3,456.00

Mail/Pick Up:

This instrument was prepared by: Richard H. Hicks, Jr., Attorney at Law, Greensboro, NC  
Brief description for the index:THIS DEED made this 12<sup>th</sup> day of September, 2007, by and between

GRANTOR	GRANTEE
MEGA STORAGE LLC, a North Carolina limited liability company	REVOLUTION MILL HOUSE, LLC, a North Carolina limited liability company
and	4605-A Dundas Drive Greensboro, NC 27407
COOK STREET LLC, a South Carolina limited liability company	

The designation Grantor and Grantee as used herein shall include said parties, their heirs, successors, and assigns, and shall include singular, plural, masculine, feminine or neuter as required by context.

WITNESSETH, that the Grantor, for a valuable consideration paid by the Grantee, the receipt of which is hereby acknowledged, has and by these presents does grant, bargain, sell and convey unto the Grantee in fee simple, all that certain lot or parcel of land situated in the City of Greensboro, Guilmer Township, Guilford County, North Carolina and more particularly described as follows:

Refer to Exhibit A, Description of Real Property, which is attached to this Deed and incorporated herein by reference as if fully set forth.

The property hereinabove described was acquired by Grantor by instrument recorded in Book 3557, Page 456; Book 4536, Page 1382; and Book 6409, Page 2190, Guilford County Registry.

A map showing the above described property is recorded in Plat Book 84, page 17, Guilford County Registry.

TO HAVE AND TO HOLD the aforesaid lot or parcel of land and all privileges and appurtenances thereto belonging to the Grantee in fee simple.

And the Grantor covenants with the Grantee, that Grantor is seized of the premises in fee simple, has the right to convey the same in fee simple, that title is marketable and free and clear of all encumbrances, and that Grantor will warrant and defend the title against the lawful claims of all persons whomsoever, other than the following exceptions:

Easements, covenants, restrictions and rights-of-way appearing of record which affect the property.

Memorandum of Lease between Mega Storage Associates, Lessor, and Revolution Associates L Lessee, recorded in Book 3557, Page 477, Guilford County Registry.

Rights or claims of parties in possession as tenants under unrecorded leases with a duration period of less than three years.

Ad valorem taxes for the current year, prorated between the parties to the date of closing on a calendar year basis.  
IN WITNESS WHEREOF, the Grantor has duly executed the foregoing as of the day and year first above written

MEGA STORAGE LLC (Entity Name) \_\_\_\_\_ (SEAL)

By: George W. Armfield, Jr. (SEAL) \_\_\_\_\_ (SEAL)

Title: Manager

COOK STREET LLC (Entity Name) \_\_\_\_\_

By: Steph A. Cook (SEAL) \_\_\_\_\_ (SEAL)

Title: Manager

By: \_\_\_\_\_ (SEAL)

Title: \_\_\_\_\_ (SEAL)

NORTH CAROLINA, Mecklenburg COUNTY.I, a Notary Public of Mecklenburg County, North Carolina, certify that George W. Armfield, Jr., Manager of MEGA STORAGE LLC, a North Carolina limited liability company, Grantor, personally appeared before me this day and acknowledged the execution of the foregoing instrument.WITNESS my hand and official seal, this 12<sup>th</sup> day of September, 2007

Denise Hopkins

Notary Public, State of North Carolina

My Comm. Expires 12/31/2011

Denise Hopkins

NORTH CAROLINA Mecklenburg COUNTY.

I, a Notary Public of Mecklenburg County, North Carolina, certify that Everett B. Curlee, Manager of COOK STREET LLC, a South Carolina limited liability company, Grantor, personally appeared before me this day and acknowledged the execution of the foregoing instrument.

WITNESS my hand and official seal, this 12<sup>th</sup> day of September, 2007



EXHIBIT A - Description of Neal Property

All that certain tract or parcel of real property situated, lying and being in the City of Greensboro, Glimmer Township, Guilford County, North Carolina, and more particularly described as follows:

BEGINNING at an Iron pin located in the western margin of Yanceyville Street, said Iron pin being located a total distance of 166.39 feet generally South of the point of Intersection of the southern margin of 9th Street with the western margin of Yanceyville Street; and running thence from the point of beginning along the western margin of Yanceyville Street a chord bearing and distance of South 02 deg. 40 min. West 365.96 feet to an Iron pin in the western margin of Yanceyville Street; thence North 53 deg. 32 min. West 45.73 feet to an Iron pin; thence South 37 deg. 21 min. West 150.91 feet to an Iron pin; thence South 79 deg. 21 min. West 39.34 feet to an Iron pin; thence North 03 deg. 06 min. West 169.05 feet to an Iron pin; thence North 66 deg. 06 min. West 31.03 feet to an Iron pin; thence North 11 deg. 57 min. West 71.09 feet to an Iron pin; thence South 78 deg. 03 min. West 28.36 feet to an Iron pin; thence North 58 deg. 44 min. West 39.47 feet to an Iron pin; thence North 11 deg. 57 min. West 67.47 feet to an Iron pin; thence North 78 deg. 03 min. East 11.56 feet to an Iron pin; thence a chord bearing and distance of North 33 deg. 22 min. East 38.72 feet to an Iron pin; thence North 78 deg. 03 min. East 38.72 feet to an Iron pin; thence North 11 deg. 57 min. East 220.00 feet to an Iron pin; thence North 78 deg. 03 min. East 39.92 feet to an Iron pin; thence North 71 deg. 23 min. East 178.15 feet to an Iron pin; located in the western margin of Yanceyville Street, the point or place of BEGINNING, same containing 3.481 acres, more or less, same being all of the property shown and described on plat of survey entitled "Property of Revolution Associates I," as recorded in Plat Book 84, Page 17, in the Office of the Register of Deeds of Guilford County, North Carolina.

And being a portion of the property conveyed by Cone Mills Corporation to Revolution Associates I, by deed dated September 12, 1993, and recorded in Book 3314, Page 65, in the Office of the Register of Deeds of Guilford County, North Carolina.

The foregoing description is based on survey entitled "Property of Negea Storage Associates," prepared by Marvin J. Borum & Associates, Surveyors, dated November 7, 1986.



BK: R 7689  
PG: 133 - 136  
RECORDED  
04/02/2016  
04:00:31 PM  
BY: JANE SCHULTZ  
DEPUTY/HP

2015015696  
GUILFORD COUNTY, NC  
JEFF L. THOMPEN  
REGISTER OF DEEDS

NC FEE \$28.00  
STATE OF NC  
REAL ESTATE  
EXTX \$995.00

Excise Tax: \$665.00

### GENERAL WARRANTY DEED IN LIEU OF FORECLOSURE

Prepared by and mail to: Marc Isaacson  
Isaacson Isaacson Sheridan & Fountain, LLP  
PO Box 1888  
Greensboro, NC 27402

NORTH CAROLINA, GUILFORD COUNTY

This General Warranty Deed in Lieu of Foreclosure, made and entered into this 2<sup>nd</sup> day of April, 2015, by and between REVOLUTION MILL HOUSE, LLC, hereinafter referred to as Grantor, and SHVF MILL HOUSE, LLC, hereinafter referred to as Grantees, whose address is 301 W. Main Street, Durham, NC 27701.

### W-A-T-N-E-S-S-E-T-H

THAT the Grantor, in consideration of the satisfaction and cancellation of the existing debt referred to herein, has bargained and sold, and by these presents does grant, bargain, sell and convey unto the Grantor, its successors and assigns, the parcel of land situated in Guilford County, North Carolina, more particularly described as follows:

See attached exhibit A

Submitted electronically by "Isaacson Isaacson Sheridan Fountain & Leftwich, LLP" in compliance with North Carolina statutes governing recordable documents and the terms of the submitter agreement with the Guilford County Register of Deeds.

This property was conveyed to Grantor by deed recorded in Book 6788 at page 2970, Guilford County Registry.

Grantor agrees to pay in full when due the property taxes on the above-described property for the year 2015 without any proration or contribution from Grantors.

This Deed is an absolute conveyance, the Grantor having sold said land to the Grantee for a fair and adequate consideration, such consideration, in addition to that above recited, being the full satisfaction of the promissory note secured by that certain deed of trust executed by Revolution Mill House, LLC to C Michael Whitehead Jr., trustee for Randolph Bank and Trust Company as mortgagee, dated September 17, 2007 and recorded in Book 6788, Page 2974, Guilford County Registry, as modified by that certain Affidavit of Correction of Typographical or Other Minor Error dated January 2, 2013 and recorded in Book 7432, Page 1206, Guilford County Registry, and which was assigned to Lender pursuant to that certain Assignment of Deed of Trust dated September 16, 2014 and recorded in Book 7636, Page 543, Guilford County Registry (collectively, the "Deed of Trust").

Grantor declares that this Deed of conveyance is freely and fairly made, and that there are no agreements, oral or written, other than this Deed and that certain Deed in Lieu of Foreclosure Agreement between Grantor and Self-Help Ventures Fund, the sole member and manager of Grantee, with respect to the said property described herein. The Grantor herein further understands that it does not have to make this Deed, that under the law the Grantor is entitled to due process and a hearing before a foreclosure can be allowed, and that, fully understanding this, the Grantor voluntarily and knowingly executes this Deed to the Grantee, and hereby expressly waives its rights to such notice and hearing. The Grantor herein further states that it feels the execution of this Deed is to its best interest and that it is desirous of being relieved of the obligations under the said Note and Deed of Trust.

TO HAVE AND TO HOLD the aforesaid parcel of land and privileges and appurtenances thereunto belonging to the said Grantee, its successors and assigns forever.

And the said Grantor, for its successors and assigns, covenants with the Grantee, its successors and assigns, that Grantor is seized of said premises in fee and has the right to convey the same in fee simple, that, to the best of the knowledge of the Grantor, the same are free from encumbrances except as may appear of record, that this deed is made for full and adequate consideration, and that Grantor will warrant and defend the title to the same against the claims of all persons whomsoever, provided, however, that the foregoing obligations shall apply solely to Grantor, and not to any member or manager of Grantor.

Page 2 General Warranty Deed in Lieu of Foreclosure

IN TESTIMONY WHEREOF, the said Grantor has hereunto set its hand and adopted seal, the day and year first above written.

REVOLUTION MILL HOUSE, LLC  
By: Howard F. Auman, Jr., its manager

Howard F. Auman, Jr.  
(SEAL)

NORTH CAROLINA  
Gulford COUNTY

I, a Notary Public, do hereby certify that Howard F. Auman, Jr. personally appeared before me this day and acknowledged the due execution of the foregoing Deed.

WITNESS my hand and notarial seal, this the 2 day of April, 2015.

Melissa Martiere  
Notary Public

My commission expires: 1/25/17



# EXHIBIT A - LEGAL DESCRIPTION

All that certain tract or parcel of real property situated, lying and being in the City of Greensboro, Glimer Township, Guilford County, North Carolina, and more particularly described as follows:

BEGINNING at an iron pin located in the western margin of Yanceyville Street, said iron pin being located a total distance of 186.39 feet generally south of the point of intersection of the southern margin of 9th Street with the western margin of Yanceyville Street; and running thence from the point of beginning along the western margin of Yanceyville Street a chord bearing and distance of South 02 deg. 40 min. West 365.96 feet to an iron pin in the western margin of Yanceyville Street; thence leaving the western margin of Yanceyville Street and running North 52 deg. 32 min. West 45.73 feet to an iron pin; thence South 37 deg. 28 min. West 130.91 feet to an iron pin; thence South 79 deg. 21 min. West 55.54 feet to an iron pin; thence North 66 deg. 06 min. West 169.05 feet to an iron pin; thence North 23 deg. 57 min. East 33.03 feet to an iron pin; thence North 66 deg. 06 min. West 60.00 feet to an iron pin; thence South 11 deg. 57 min. West 71.14 feet to an iron pin; thence North 78 deg. 03 min. West 28.26 feet to an iron pin; thence North 11 deg. 57 min. West 33.33 feet to an iron pin; thence North 78 deg. 03 min. East 11.56 feet to an iron pin; thence a chord bearing and distance of North 33 deg. 22 min. East 38.72 feet to an iron pin; thence North 11 deg. 57 min. West 72.50 feet to an iron pin; thence North 78 deg. 03 min. East 220.00 feet to an iron pin; thence South 11 deg. 57 min. East 39.48 feet to an iron pin; thence North 71 deg. 23 min. East 178.15 feet to an iron pin located in the western margin of Yanceyville Street, the point or place of BEGINNING, same containing 3.481 acres, more or less, same being all of the property shown and described on plat of survey entitled "Property of Revolution Associates I," as recorded in plat Book 84, Page 17, in the Office of the Register of Deeds of Guilford County, North Carolina.

And being a portion of the property conveyed by Cone Mills Corporation to Revolution Associates I, by deed dated September 12, 1983, and recorded in Book 3314, Page 65, in the Office of the Register of Deeds of Guilford County, North Carolina.

The foregoing description is based on survey entitled "Property of Mega Storage Associates," prepared by Marvin L. Borum & Associates, Surveyors, dated November 7, 1986.

## Revolution Mill – Extended Ownership History

Grantor	Grantee	Document	Date	Notes
Herman Sternberger	Revolution Cotton Mills	Deed Book 130, Pg 649	May 1901	Company is formed
Cone Export & Comm Co Etal	Proximity Mfg Co etal	Agreement Book 1132 pg 497	1946	Sternberger & Cone brothers create new company
Proximity Manufacturing Company and Revolution Cotton Mills	Revolution Mills, Inc.	Agreement dated October 8, 1947 and filed with Sec of State on January 2, 1984		Companies combine and change names
Cone Mills Corp etal	Revolution Cotton Mills	Agreement Merger Book 1207 pg 269	1948	Companies combine and form Revolution Cotton Mills
Cone Mills Corporation	Dwight Manufacturing Company	Agreement of Merger and Articles of Consolidation	March 28, 1951	Cone Mills Corporation
Cone Mills Corporation	Revolution Associates I	Deed Book 3314 pg 65	September 12, 1983	32.71 acres from June 16, 1983 survey exhibit
“Property of Revolution Associates I”		Plat Book 84 pg 17		3.481 acres for Mill House is separated from the larger Revolution Mill campus
“Property of Mega Storage Associates”		Survey by Marvin Borum	November 7, 1986	
Mega Storage Associates		Deed Book 3557 pg 456	1988	
Mega Storage LLC		Book 4536 pg 1582	1998	
Mega Storage LLC	Mega Storage LLC (50%) and Cook Street LLC (50%)	Book 6409 pg 2190	2006	
Cook Street LLC		Book 6787 pg 1009	2008	Rerecorded Instrument
Revolution Mill House, LLC	Lender: Randolph Bank & Trust Company	Real Estate Deed of Trust Book 6788 pg 2970	2008	
Revolution Mill House, LLC	SHVF Mill House LLC	Book 7689 pg 133-136	April 2, 2015	SHVF Mill House LLC remains as owner today

[illegible]

State of North Carolina. Under  
the foregoing certificate of law,  
Notary Public of said County,  
to be correct. But the said ~~to be~~  
certificates do register. Witness my hand  
this 24th day of May 1901.

J. W. Naamkam, Deputy Ins. & Co.,  
 filed for registration on the 24 day of May  
 1901. At 5.30 Deland, P. M. and duly sworn &  
 A. S. Naamkam Registrar of Deeds.

Revolution Station Mill from Thomas Stenberger

The Dock made this the day of May 1901, by steam, Stoughton of Milford County and State of North Carolina party of the first part to Products & Cotton Mills of Milford County and State of North Carolina party of the second part & witnesses that the said party of the first part for and in consideration of the sum of Five Hundred and fifteen and 75/100 Dollars (\$416.75) to him paid by

Guilford County Register of Deeds  
Deed Book 3314, Pg 133-136  
September 12, 1983

(OUT 251-61-2)	GILMER	251-61-3	
Revolution Associates I	3314-65	1984	
Add Land (Street Closure)	3337-713, 3337-715, 3337-716	1984	
Mega Storage Associates	3357-456	1988	
Mega Storage LLC	4336-1582	1998	
Mega Storage LLC (502) and Cook Street LLC(502)	6409-2190	2006	
Cook Street, LLC	6287-1009	2008	
Revolution Mill House, LLC	6788-2970	2008	
Duplicate	M/G	251-61-1	
Come Mills Corp.	244-463		
C. Wayne McDonald Contractor INC	5888-995	2004	



51897

RECORDED  
NORTH CAROLINA  
COUNTY OF GREENSBORO  
SEP 12 12 55 PM '83

Excise Tax 655.

Recording Time, Book and Page

Tax Lot No. Parcel Identifier No.  
Verified by County on the day of 19

Mail after recording to Home, Blmco & Osborn  
215 E. Franklin Ave. Blvd. Wash. D.C. 20710  
Charles P. Younce, Attorney at Law  
Brief description for the Index

NORTH CAROLINA GENERAL WARRANTY DEED

THIS DEED made this 12th day of September, 1983, by and between

GRANTOR GRANTEE

COME MILLS CORPORATION,  
a North Carolina corporation,  
1201 Maple Street  
Greensboro, North Carolina 27405

REVOLUTION ASSOCIATES I,  
a North Carolina limited partnership,  
c/o ISC Partners  
P.O. Box 21  
Winston-Salem, North Carolina 27102

Under in appropriate block for each party: name, address, and, if appropriate, character of entity, e.g. corporation or partnership.

The designation Grantor and Grantee as used herein shall include said parties, their heirs, successors, and assigns, and shall include singular, plural, masculine, feminine or neuter as required by context.  
WITNESSETH, that the Grantor, for a valuable consideration paid by the Grantee, the receipt of which is hereby acknowledged, has and by these presents does grant, bargain, sell and convey unto the Grantee in fee simple, all that certain lot or parcel of land situated in the City of Greensboro, County, North Carolina and more particularly described as follows:

Guilford County, North Carolina and more particularly described as follows:

BEGINNING at an iron pin, said beginning point being the point of intersection of the southern margin of 9th Street with the western margin of Vanceville Street, and running thence from the point of beginning South 11 deg. 24 min. East 143.36 feet to an iron pin; thence with a curve to the right South 11 deg. 24 min. West a chord distance of 653.33 feet to an iron pin in the western margin of Vanceville Street; thence North 44 deg. 51 min. West 215.52 feet to an iron pin; thence South 81 deg. 44 min. West 724.90 feet to an iron pin; thence South 82 deg. 05 min. West 518.61 feet to an iron pin; thence South 35 deg. 33 min. 2) sec. West 228.60 feet to an iron pin in the centerline of the Southern Railway main line; thence with said centerline of the Southern Railway main line the following courses and distances: North 05 deg. 35 min. 30 sec. East 376.61 feet to an iron pin; North 06 deg. 39 min. East 201.84 feet to an iron pin; North 09 deg. 32 min. East 200.51 feet to an iron pin; North 12 deg. 35 min. East 200.01 feet to an iron pin; North 16 deg. 22 min. East 200.01 feet to an iron pin; North 20 deg. 01 min. East 232.65 feet to an iron pin in the southern margin of Normalville Drive; thence with the southern margin of Normalville Drive South 85 deg. 30 min. 30 sec. East 97.22 feet to an iron pin; thence South 03 deg. 40 min. West 537.00 feet to an iron pin; thence South 86 deg. 58 min. 04 sec. East 158.04 feet to an iron pin in the western margin of the said Vanceville Street; thence South 57 deg. 14 min. East 149.08 feet to an iron pin; thence South 85 deg. 35 min. East 149.90 feet to an iron pin; thence South 85 deg. 40 min. East 170.08 feet to an iron pin in the western margin of Cypress Street;

BOOK 3314 PAGE 065



Thence South 77 deg. 16 min. East 51.03 feet to an iron pin; thence South 85 deg. 21 min. East 320.21 feet to an iron pin in the western margin of Maple Street; thence with the western margin of Maple Street South 03 deg. 33 min. West 207.85 feet to an iron pin in the southern margin of 9th Street; thence with the southern margin of 9th Street North 81 deg. 42 min. East 331.24 feet to the point of BEGINNING, said parcel containing 32.71 acres as shown on a survey entitled "Property of Cone Mills Corporation," prepared by Marvin L. Borum & Associates, Inc., Greensboro, North Carolina, dated June 10, 1983, revised September 9, 1983, copy attached.

The property hereinabove described was acquired by Grantor by instrument recorded in

A map showing the above described property is recorded in Plat Book  
page  
TO HAVE AND TO HOLD the aforesaid lot or parcel of land and all privileges and appurtenances thereto belonging to  
the Grantor in fee simple.

And the Grantor covenants with the Grantee, that Grantor is seized of the premises in fee simple, has the right to convey  
the same in fee simple, that title is marketable and free and clear of all encumbrances, and that Grantor will warrant and  
defend the title against the lawful claims of all persons whomsoever except for the exceptions hereinafter stated.  
Title to the property hereinabove described is subject to the following exceptions:

All restrictions, easements, and rights of way of record, and those restrictions,  
easements and rights of way shown and referred to on the attached survey.

By *Marvin L. Borum*  
President

ATTEST: *Marie H. Harder*  
Secretary

SEAL-GRANTOR  
NORTH CAROLINA, County of Guilford, State of North Carolina, this 12th day of September, 1983.

USE BLACK INK ONLY

SEAL-GRANTEE  
NORTH CAROLINA, County of Guilford, State of North Carolina, this 12th day of September, 1983.

Use Black Ink  
I, a Notary Public of the County and State aforesaid, certify that  
personally appeared before me this day and acknowledged the execution of the foregoing instrument, Witness my  
hand and official stamp or seal, this 12th day of September, 1983.

My commission expires: October 1, 1983

Notary Public



Use Black Ink  
I, a Notary Public of the County and State aforesaid, certify that  
personally came before me this day and acknowledged that S. he is Assistant Secretary of  
Cone Mills Corporation, a North Carolina corporation, and that he is duly authorized  
to execute and as the act of the corporation, the foregoing instrument was signed in his name by the  
Witness my hand and official stamp or seal, this 12th day of September, 1983.

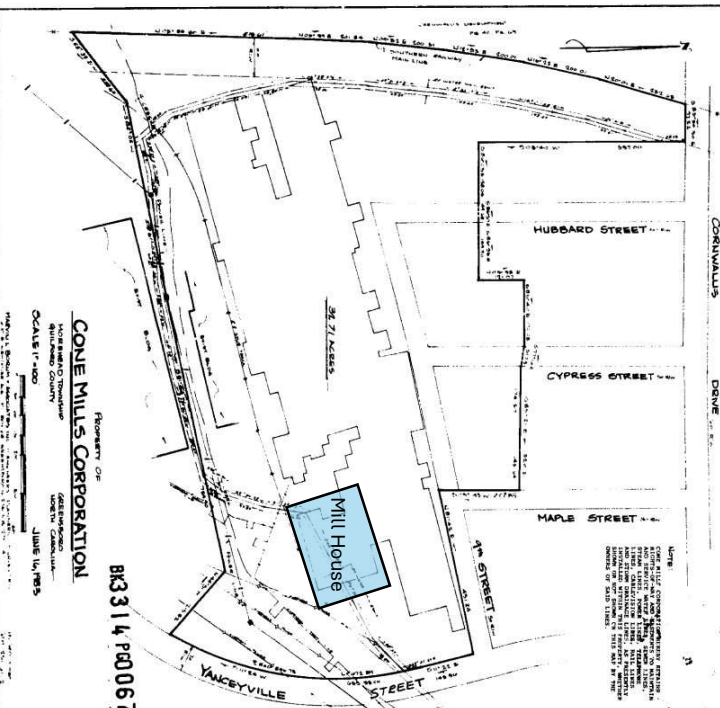
My commission expires: October 1, 1983

Notary Public

The foregoing Certificate of  
Notary Public  
is certified to be correct. This instrument and this certificate are only registered in the date and time and in the Book and Page shown on the  
first page hereof.

By *Patricia Burman*  
KAY E. PATSEVAUGH  
REGISTER OF DEEDS FOR  
GUILFORD COUNTY  
RECEIVED  
BR3314 P80066

I, Marvin L. Borum, certify that under  
my direction and supervision this map  
was drawn and an accurate survey  
made describing an acreage survey by  
page that the error of closure as  
calculated by latitudes and departure  
is 1:110,000; that this map was prepared  
in accordance with G.S. 47-30 as amended,  
that the development is within the  
Corporate Limits of the City of Greens-  
boro. Witness my hand and seal this  
day of September, 1983.  
Marvin L. Borum, Surveyor  
Subscribed and sworn to before me  
this day of September, 1983.  
David A. Platt, Notary Public  
My commission expires 12-15-86



Property of  
CONE MILLS CORPORATION  
HUBBARD STREET  
YANCEYVILLE  
SCALE 1"=400'  
JULIE L. HINES  
BR3314 P80067



Guilford County Register of Deeds  
Deed Book 7689, Pg 133-136  
April 2, 2015

Self-Help acquired the Mill House in 2015 and subsequently began exploring development opportunities.

Mill House was certified as a historic structure for rehabilitation purposes and was eligible to apply for historic tax credits in 2019. Mill House also used Historic Tax Credits to support construction costs.

BK: R 7689  
PG: 133 - 136  
RECORDED  
04/02/2015  
04:00:31 PM  
BY JANE SCHULTZ  
DEPUTY-AP

2015015696  
GUILFORD COUNTY, NC  
JEFF L. THIGPEN  
REGISTER OF DEEDS

NC FEE \$39.00  
STATE OF NC  
REAL ESTATE  
EXTX \$995.00

Excise Tax: \$665.00

# GENERAL WARRANTY DEED IN LIEU OF FORECLOSURE

Prepared by and mail to: Marc Isaacson  
Isaacson Isaacson Sheridan & Fountain, LLP  
PO Box 1868  
Greensboro, NC 27402

NORTH CAROLINA, GUILFORD COUNTY

This General Warranty Deed in Lieu of Foreclosure, made and entered into this the 2<sup>nd</sup> day of April, 2015, by and between REVOLUTION MILL HOUSE, LLC, hereinafter referred to as Grantor, and SHVF MILL HOUSE, LLC, hereinafter referred to as Grantees, whose address is 301 W. Main Street, Durham, NC 27701.

## W-I-T-N-E-S-S-E-T-H

THAT the Grantor, in consideration of the satisfaction and cancellation of the existing debt referred to herein, has bargained and sold, and by these presents does grant, bargain, sell and convey unto the Grantor, its successors and assigns, the parcel of land situated in Guilford County, North Carolina, more particularly described as follows:

See attached exhibit A

# Bibliography

## Deeds

Guilford County, North Carolina Deed Book 3314, Page 65  
Guilford County, North Carolina Deed Book 3557, Page 456  
Guilford County, North Carolina Deed Book 6409, Page 2190  
Guilford County, North Carolina Deed Book 6788 Page 2970  
Guilford County, North Carolina Deed Book R7689 Page 133-136

## Articles

Mill Power: Where Workers Once Made Bolts of Flannel, a Busy Mixed-Use Complex Hums Away | National Trust for Historic Preservation

Tannenbaum Sternberger Foundation: A Real Revolution <https://www.tsfoundation.com/uploads/tsfrevolutionplantbktfinal.pdf>

NTCIC Project Spotlight | The Revolution Mill House

The Mill House

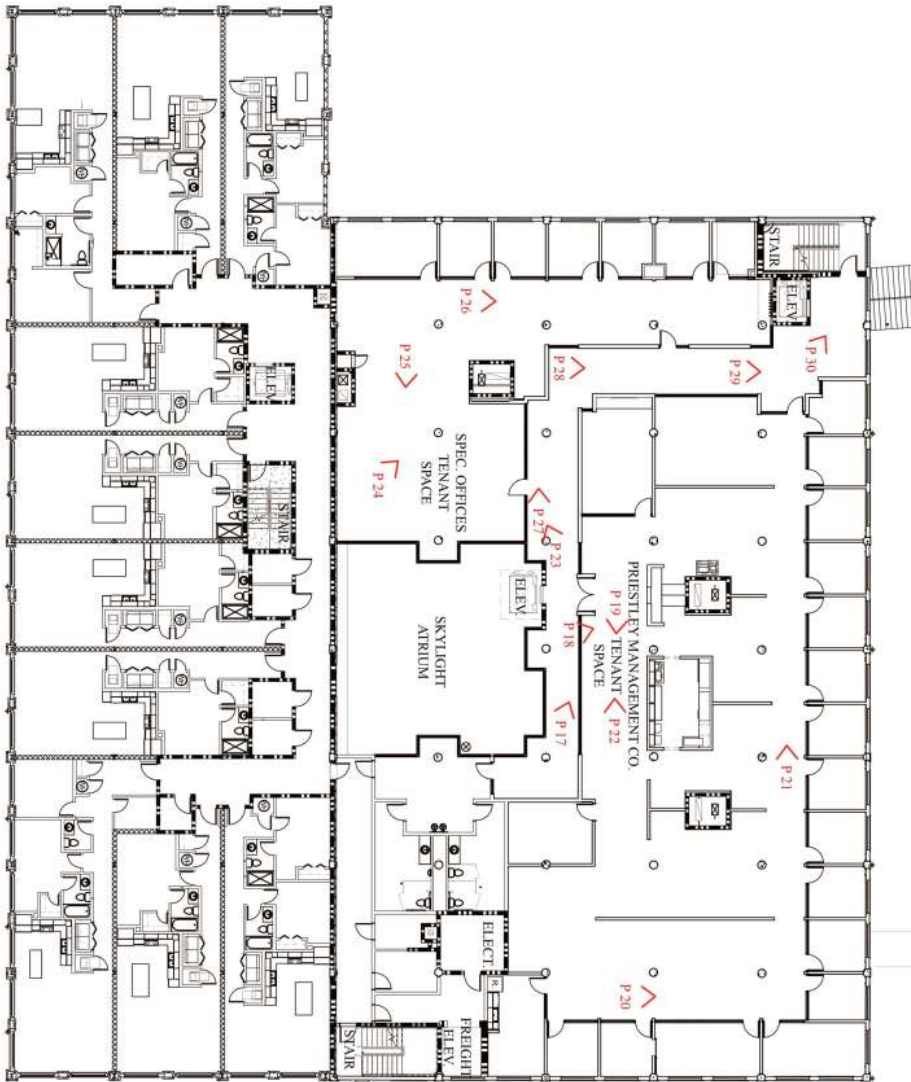
## Other Sources

- North Carolina SP Revolution Cotton Mills = National Archives, NAID: 47720624
- GF0172.pdf
- National Park Service Project 40664
  - Historic Tax Credits





**Interior Photos and Plans**



MILL HOUSE  
THIRD FLOOR  
PLAN  
A103

3005 YANCEYVILLE STREET, GREENSBORO, NC 27405  
CA. 1915 / 1930  
REVOLUTION MILL

**MILL HOUSE**

CA. 1915 / 1930  
@  
REVOLUTION MILL

3005 YANCEYVILLE STREET, GREENSBORO, NC

**GT WILSON**  
CONSULTANTS

201 WEST 10TH STREET  
DURHAM, NC 27701  
919.286.5900

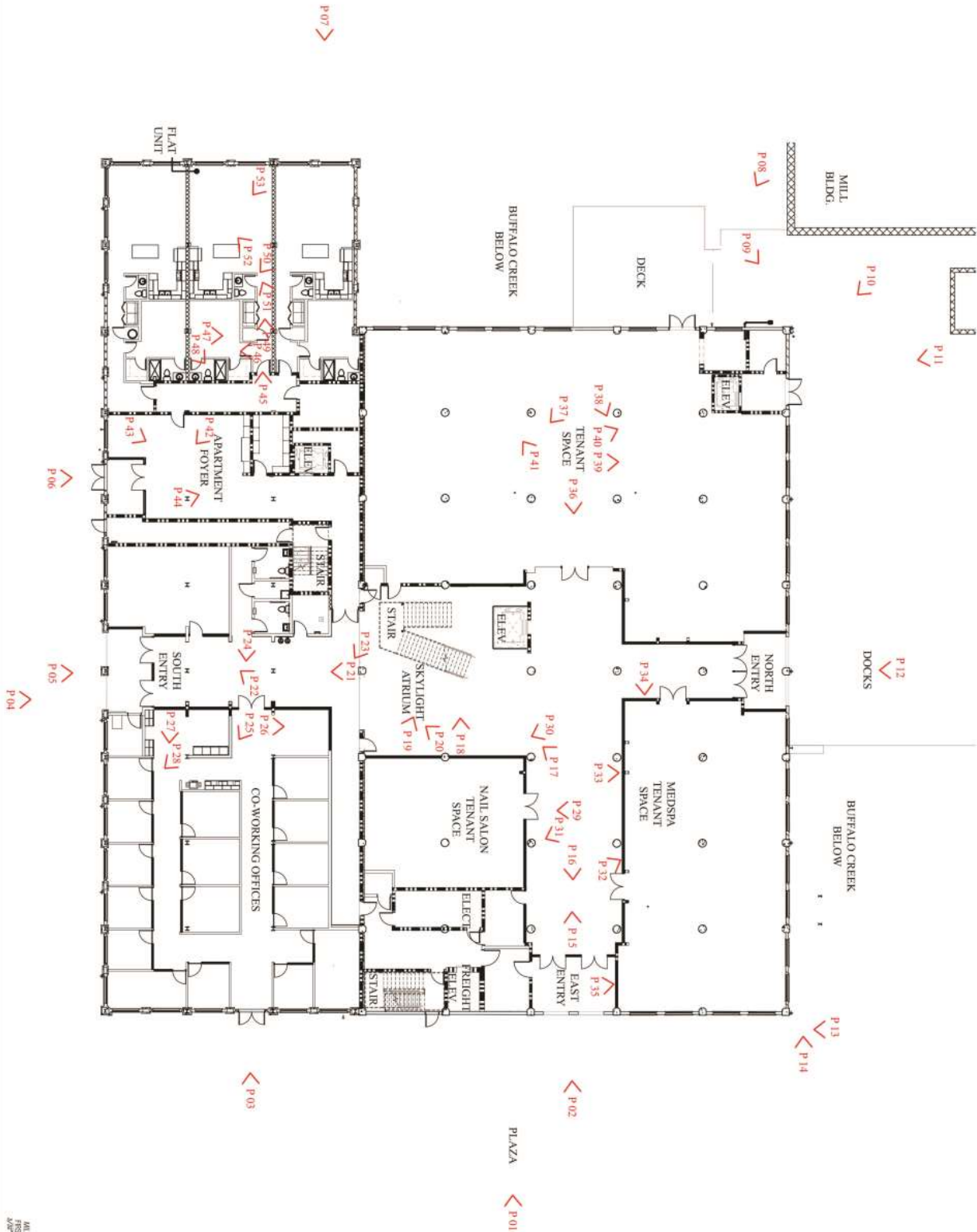
**SelfHelp**  
CONSTRUCTION

201 WEST 10TH STREET  
DURHAM, NC 27701  
919.286.5900



3005 YANCEYVILLE STREET, GREENSBORO, NC 27405  
CA. 1915 / 1930  
REVOLUTION MILL

**3005 YANCEYVILLE STREET, GREENSBORO, NC 27405**  
CA. 1915 / 1930  
REVOLUTION MILL



MILL HOUSE  
FIRST FLOOR  
PLAN  
1/8" = 1'-0"

A101

**MILL HOUSE**  
CA. 1915 / 1930  
@  
REVOLUTION MILL  
2005 YANCEYVILLE STREET, GREENSBORO, NC

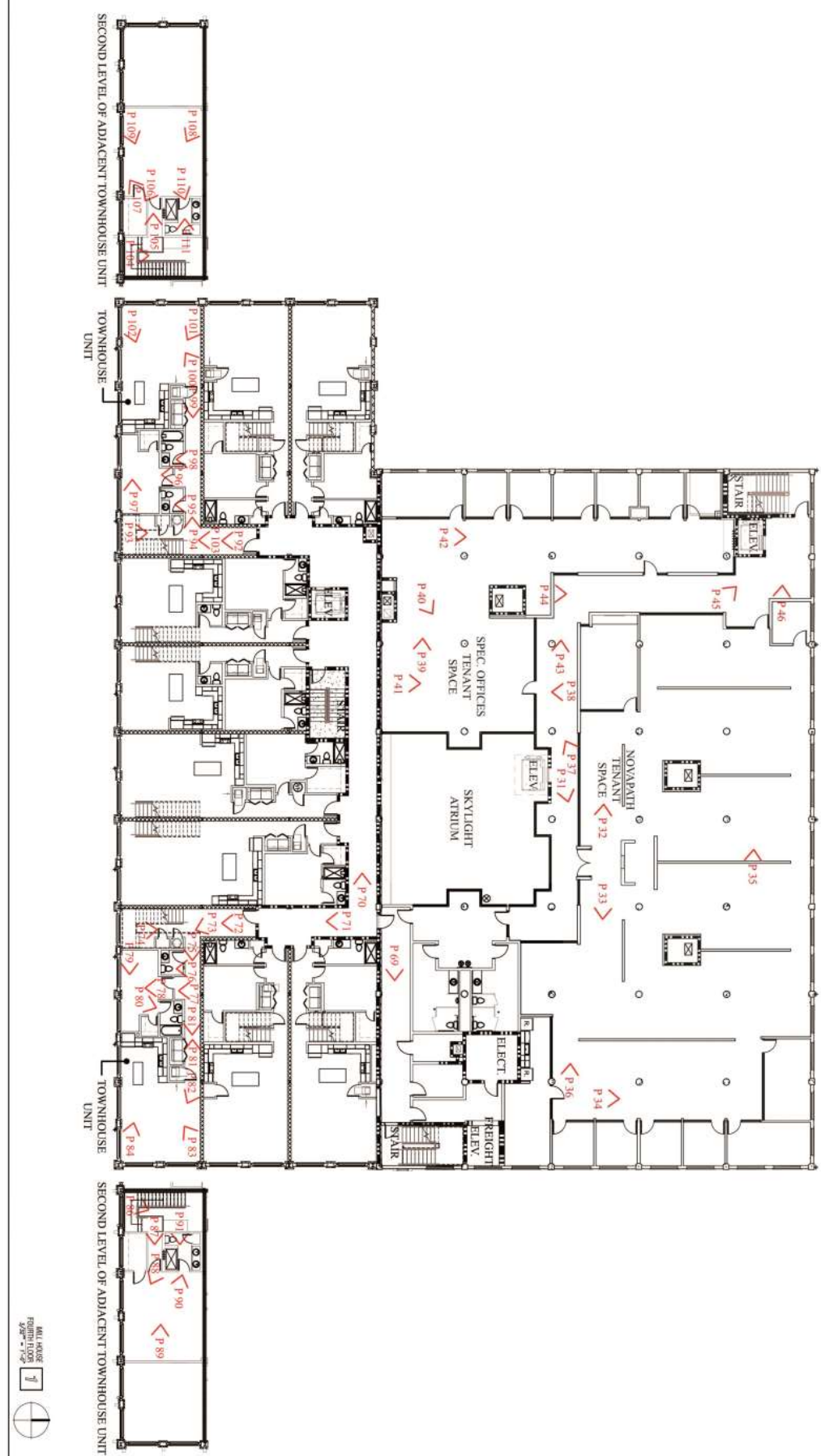
**GT WILSON**  
CONSULTANTS

**Scullion**  
ARCHITECTS



**MEK architecture**  
273 S.W. 3rd Ave.  
DURHAM, NC 27701  
919.286.5293 / 919.286.3388  
ARCHITECTS IN RESIDENCE











45. Mill House: Fourth floor corridor - Looking North West



46. Mill House: Fourth floor corridor - Looking West





1. Mill House: East Elevation



2. Mill House: Main / East Entrance





3. Mill House: Co-Working Office Entry



4. Mill House: South Elevation

37. Looking South from within one of the Mini Office Suites





5. Mill House: South Entrance



6. Mill House: South Apartment Entrance





7. Mill House: West Elevation



8. Mill House: West Elevation





9. Mill House: Connector bridge to main mill



10. Mill House: North West corner





11. Mill House: North Elevation



12. Mill House: North Entry





13. Mill House: Dock looking South



14. Mill House: Dock looking West





15. Mill House - First Floor: Lobby off of East entry looking West

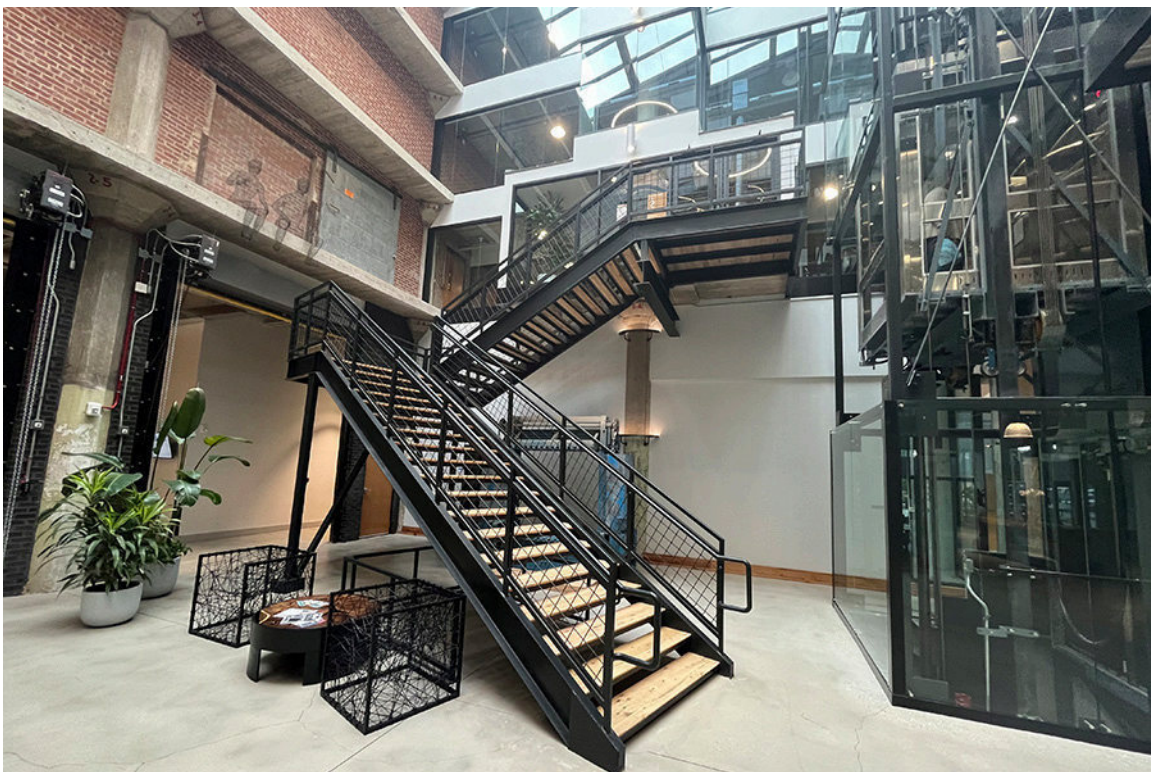


16. Mill House - First Floor: Lobby looking East at Entry





17. Mill House - First Floor: Skylight Atrium



18. Mill House - First Floor: Skylight Atrium





19. Mill House - First Floor: Skylight Atrium



20. Mill House - First Floor: Skylight Atrium looking South to 1930 wing





21. Mill House - First Floor: Looking South to South entry of 1930 wing



22. Mill House - First Floor: 1930 wing looking South West





23. Mill House - First Floor: 1930 wing looking South East



24. Mill House - First Floor: Entry to Co-Working offices





25. Mill House - First Floor: Co-Working offices

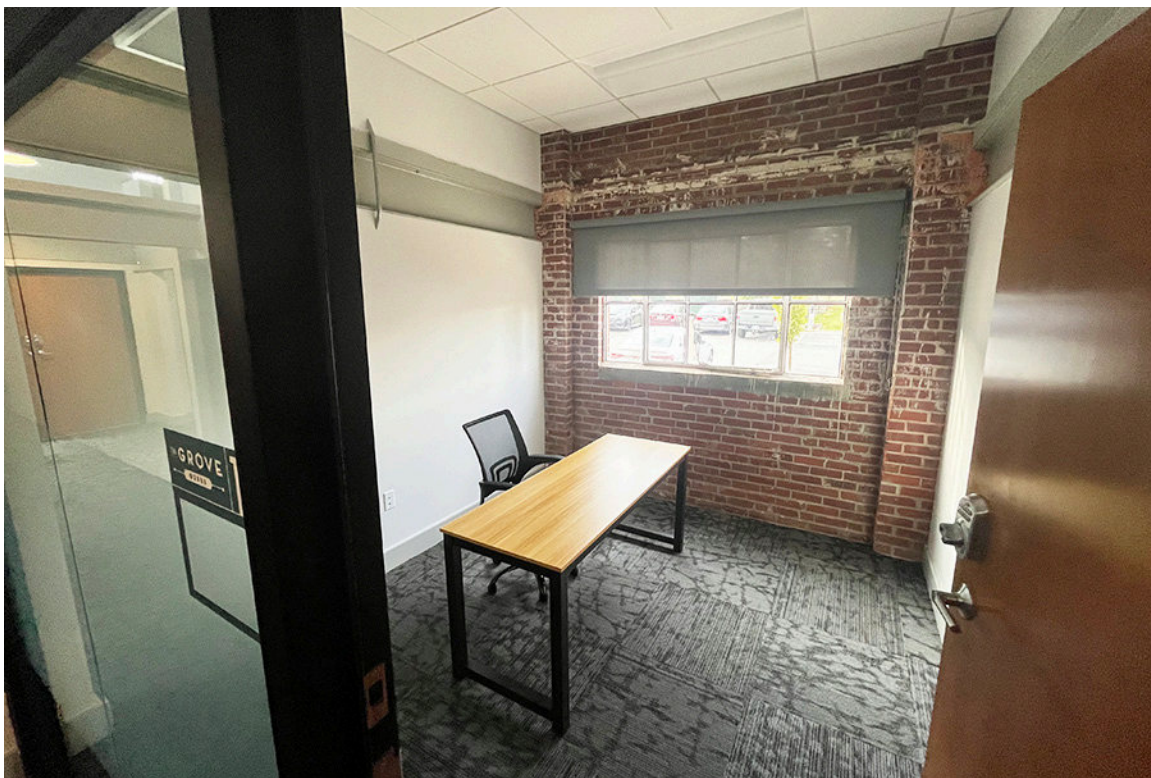


26. Mill House - First Floor: Co-Working offices looking North





27. Mill House - First Floor: Co-Working offices looking East



28. Mill House - First Floor: Co-Working offices, typical office





29. Mill House - First Floor: Nail Salon Entry



30. Mill House - First Floor: Nail Salon





31. Mill House - First Floor: Nail Salon

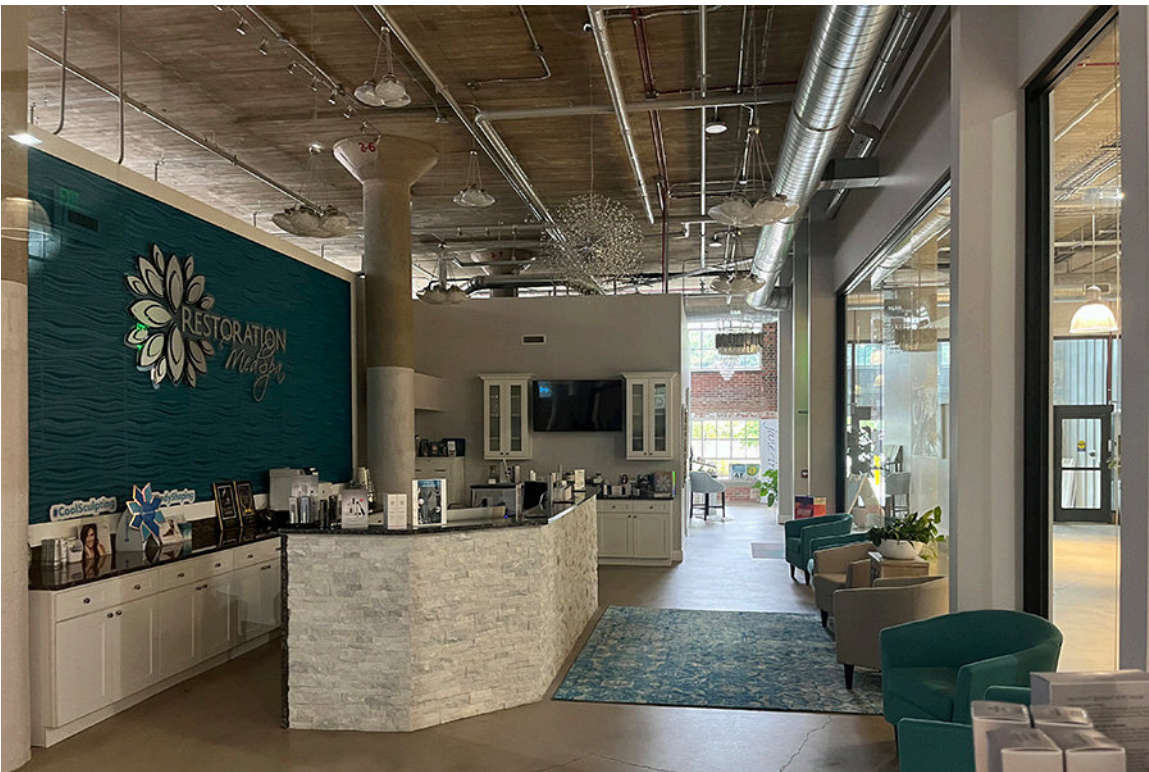


32. Mill House - First Floor: MedSpa looking North West





33. Mill House - First Floor: MedSpa looking North



34. Mill House - First Floor: MedSpa looking East





35. Mill House - First Floor: MedSpa looking North

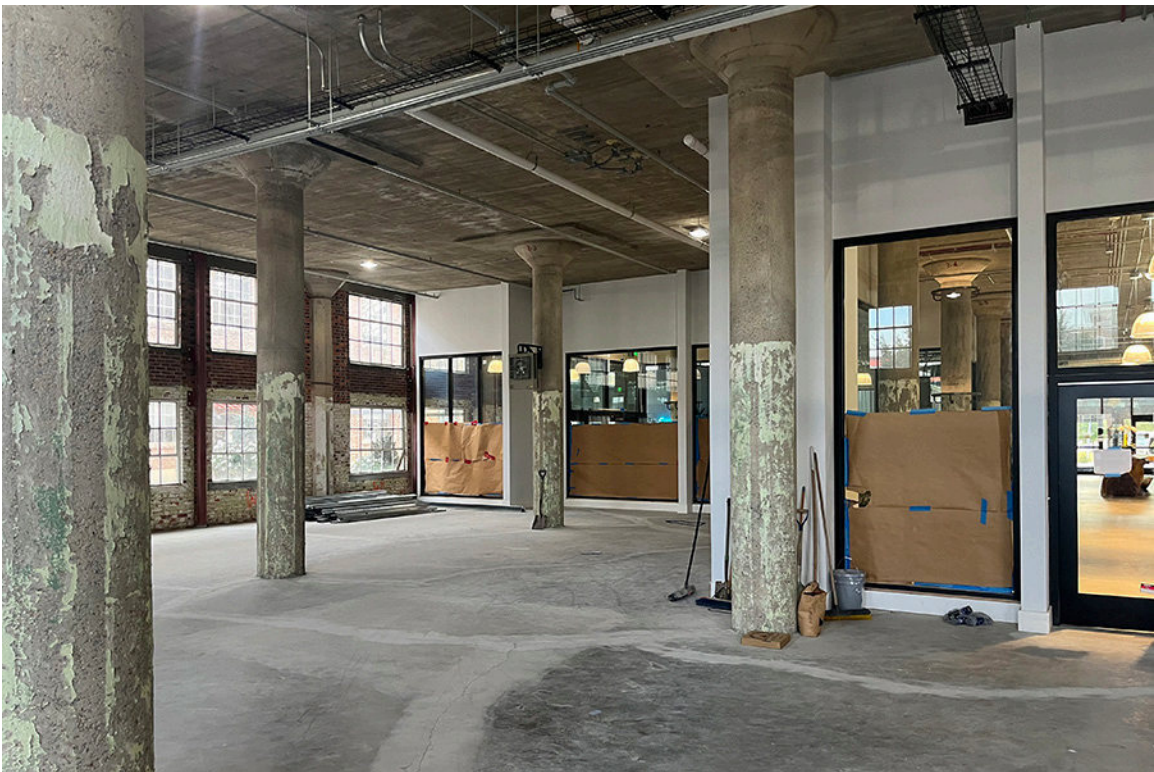


36. Mill House - First Floor: Future tenant space looking East toward entry





37. Mill House - First Floor: Future tenant space



38. Mill House - First Floor: Future tenant space looking North West





39. Mill House - First Floor: Future tenant space looking North



40. Mill House - First Floor: Future tenant space looking North West toward docks





41. Mill House - First Floor: Future tenant space looking West toward smoke stacks



42. Mill House - First Floor: Apartment lobby looking at entry



43. Mill House - First Floor: Apartment lobby looking North East



44. Mill House - First Floor: Apartment lobby looking North





45. Mill House - First Floor: Typical apartment flat hallway



46. Mill House - First Floor: Typical apartment flat hallway looking into bedroom



47. Mill House - First Floor: Typical apartment flat bedroom



48. Mill House - First Floor: Typical apartment flat master bathroom





49. Mill House - First Floor: Typical apartment flat hallway looking West



50. Mill House - First Floor: Typical apartment flat bathroom





51. Mill House - First Floor: Typical apartment flat living space



52. Mill House - First Floor: Typical apartment flat living space





53. Mill House - First Floor: Typical apartment flat living space looking toward kitchen



54. Mill House - Second Floor: looking South toward restrooms





55. Mill House - Second Floor: Typical common restrooms



56. Mill House - Second Floor: Skylight Atrium looking West





57. Mill House - Second Floor: Common corridor looking North

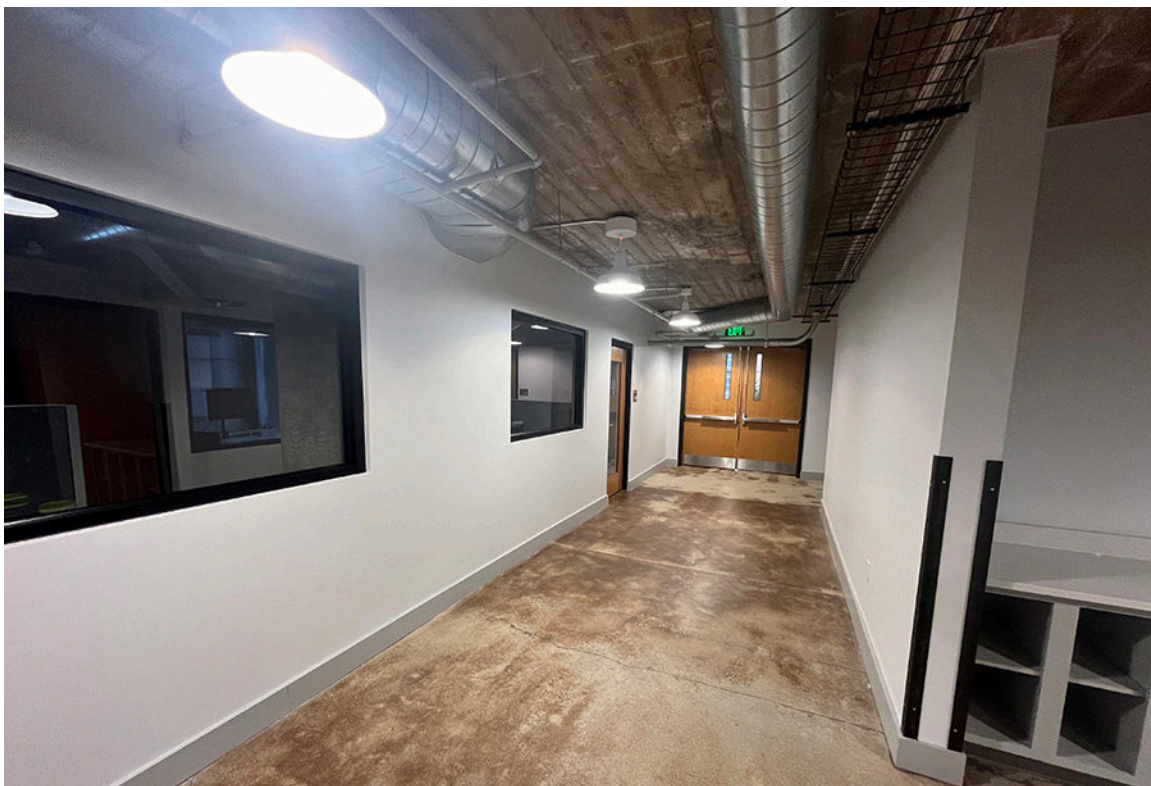


58. Mill House - Second Floor: Common corridor looking West





59. Mill House - Second Floor: Looking North West at mail / concierge

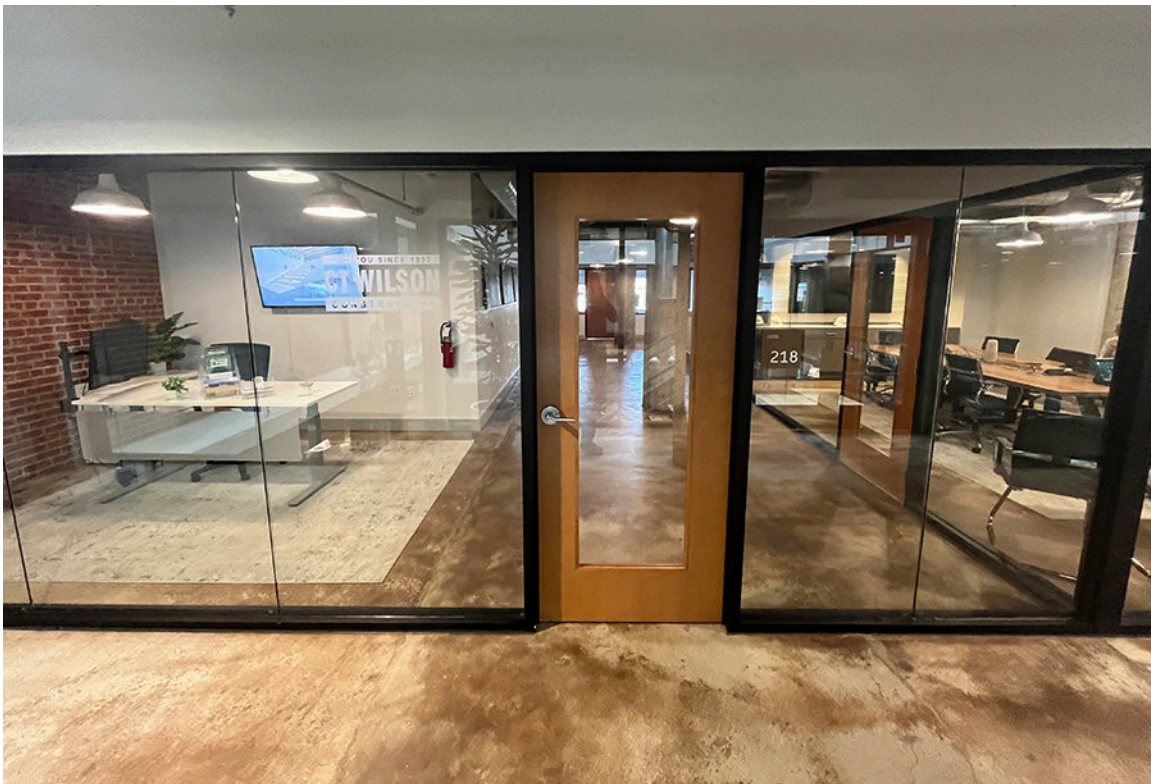


60. Mill House - Second Floor: Common corridor looking North toward exit & connector bridge



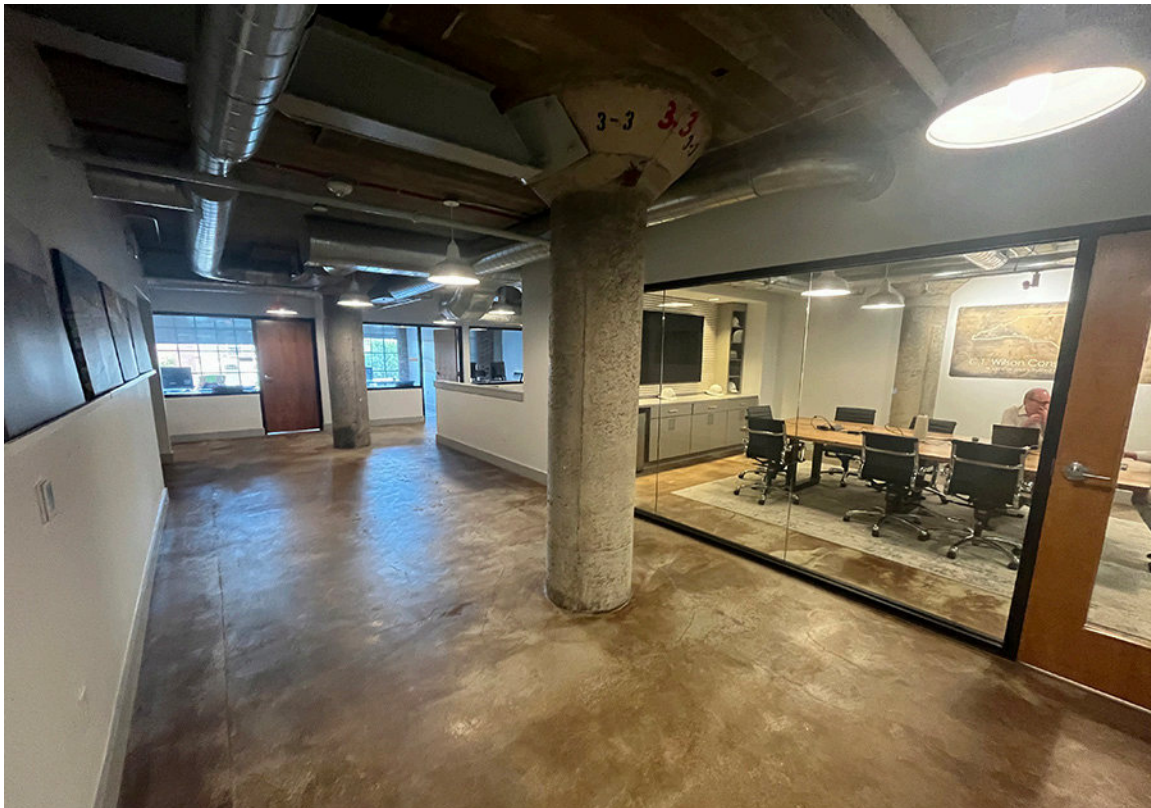


61. Mill House - Second Floor: Common corridor looking South

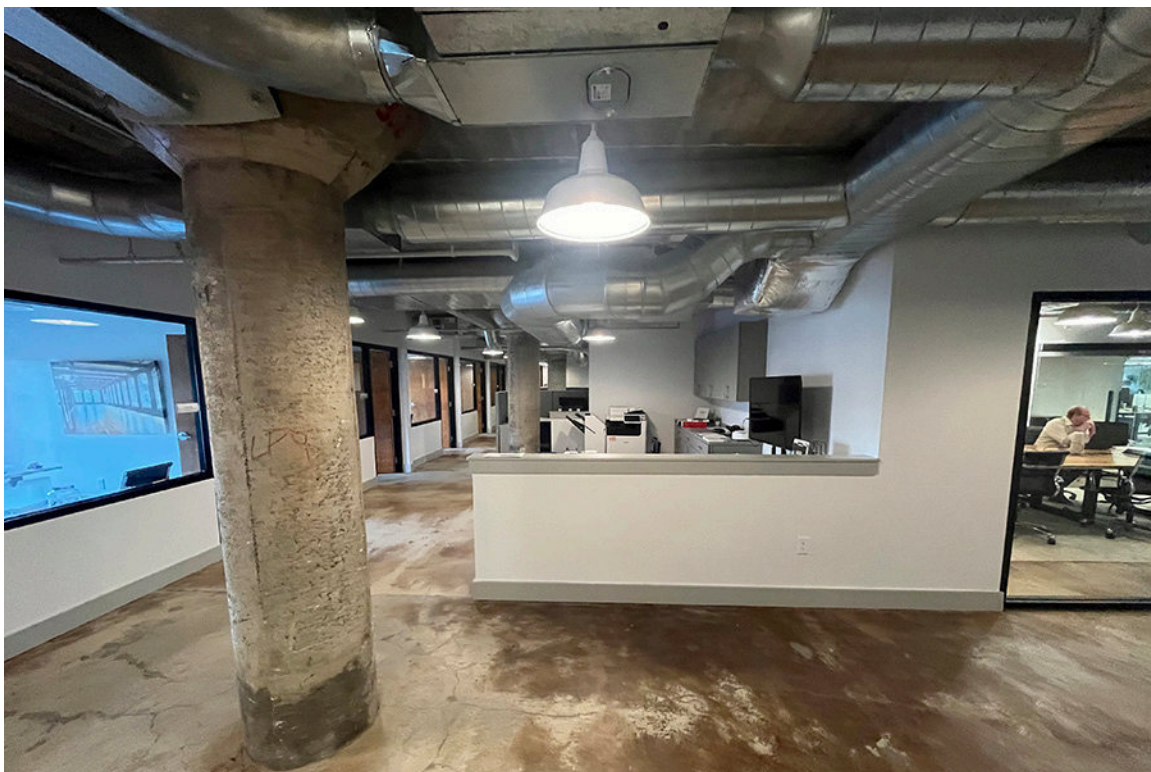


62. Mill House - Second Floor: C. T. Wilson construction office entry





63. Mill House - Second Floor: C. T. Wilson construction office looking North West



64. Mill House - Second Floor: C. T. Wilson construction office looking North



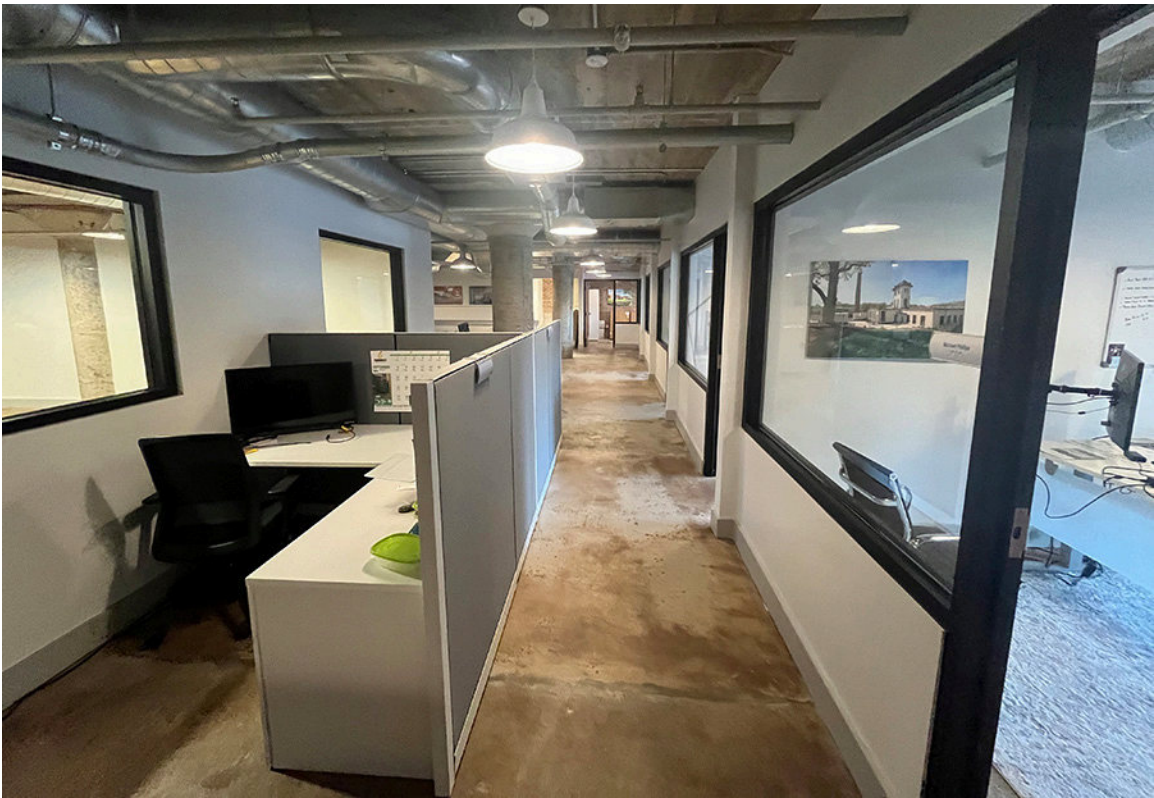


65. Mill House - Second Floor: C. T. Wilson construction office, typical office

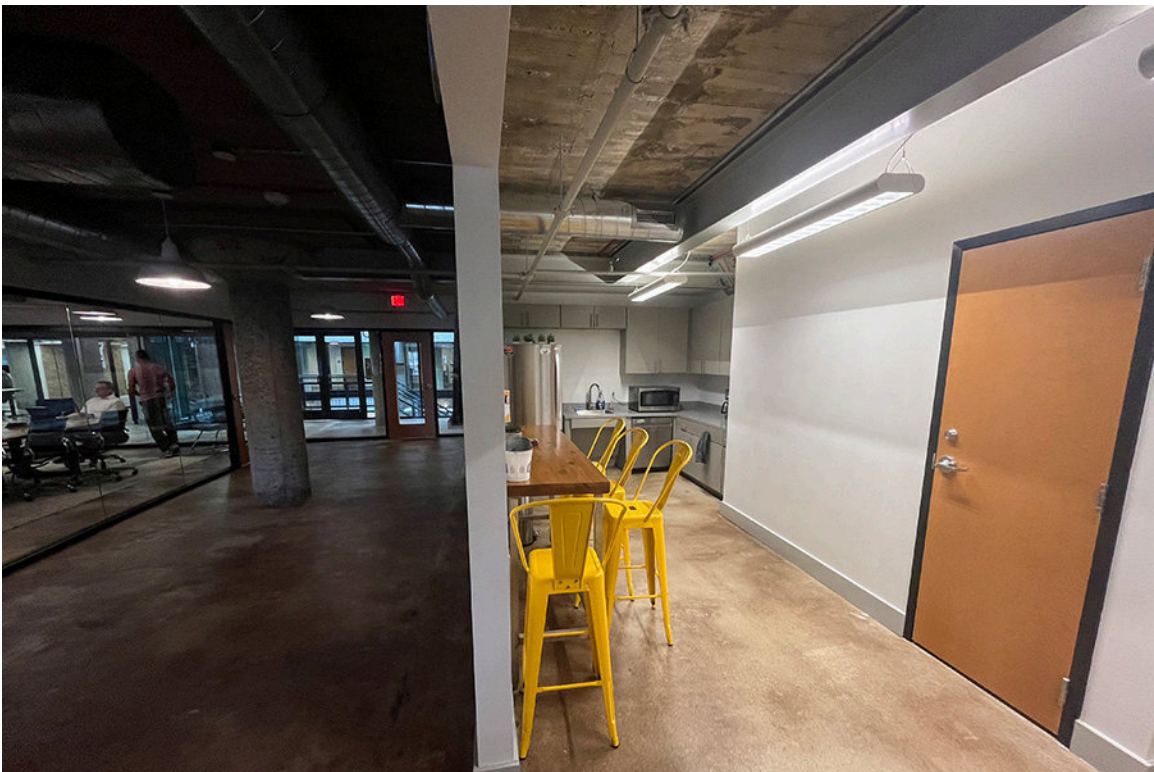


66. Mill House - Second Floor: C. T. Wilson construction office looking North





67. Mill House - Second Floor: C. T. Wilson construction office looking South

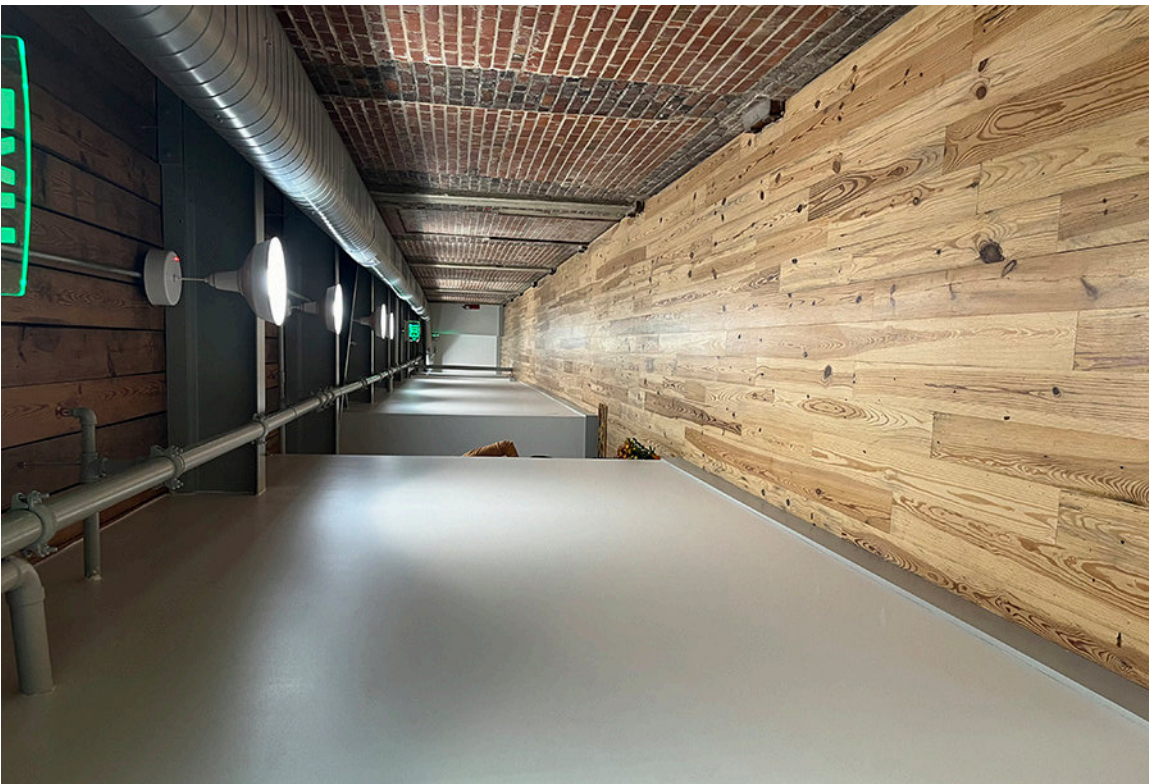


68. Mill House - Second Floor: C. T. Wilson construction office looking East





69. Mill House - Fourth Floor: Common Commercial corridor



70. Mill House - Fourth Floor: Common Apartment corridor





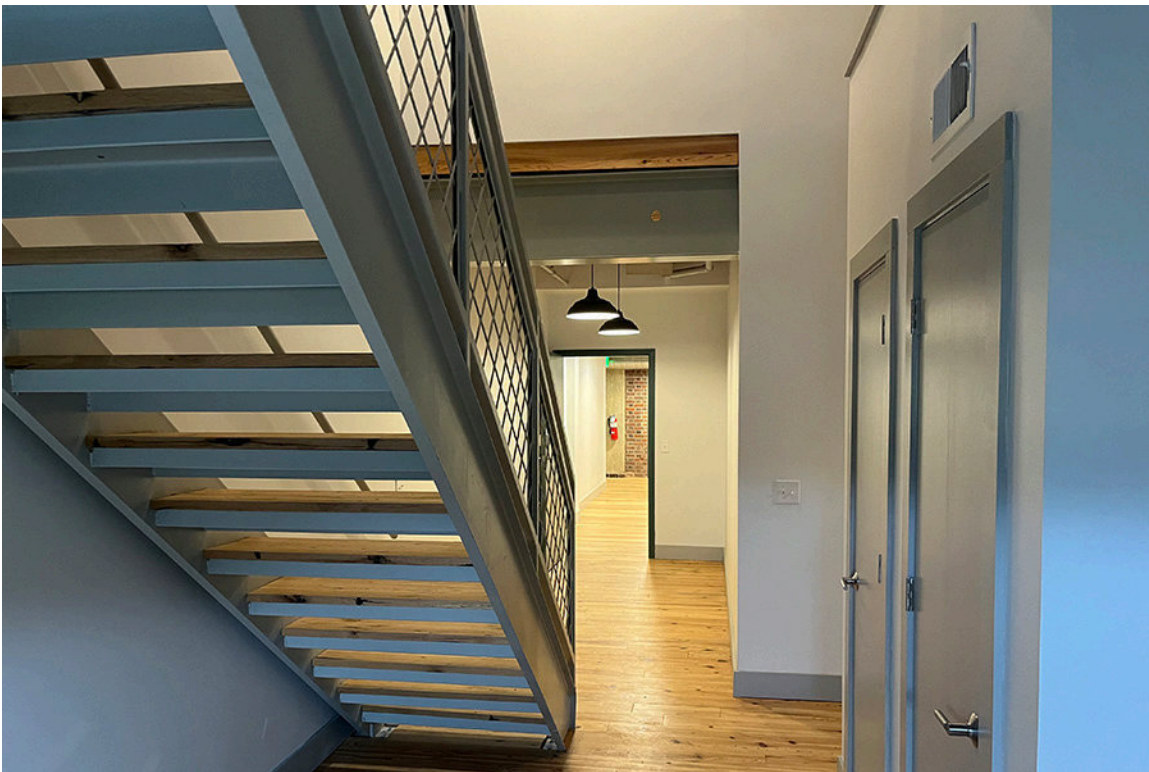
71. Mill House - Fourth Floor: Apartment entry's



72. Mill House - Fourth Floor: Typical Townhouse unit entry hall



73. Mill House - Fourth Floor: Typical Townhouse unit entry hall



74. Mill House - Fourth Floor: Typical Townhouse unit looking toward entry





75. Mill House - Fourth Floor: Typical Townhouse unit hallway



76. Mill House - Fourth Floor: Typical Townhouse unit bathroom



77. Mill House - Fourth Floor: Typical Townhouse unit looking into bedroom



78. Mill House - Fourth Floor: Typical Townhouse unit bedroom





79. Mill House - Fourth Floor: Typical Townhouse unit bedroom



80. Mill House - Fourth Floor: Typical Townhouse unit bathroom





81. Mill House - Fourth Floor: Typical Townhouse unit hallway toward living space



82. Mill House - Fourth Floor: Typical Townhouse unit living space looking South East





83. Mill House - Fourth Floor: Typical Townhouse unit living space looking toward kitchen

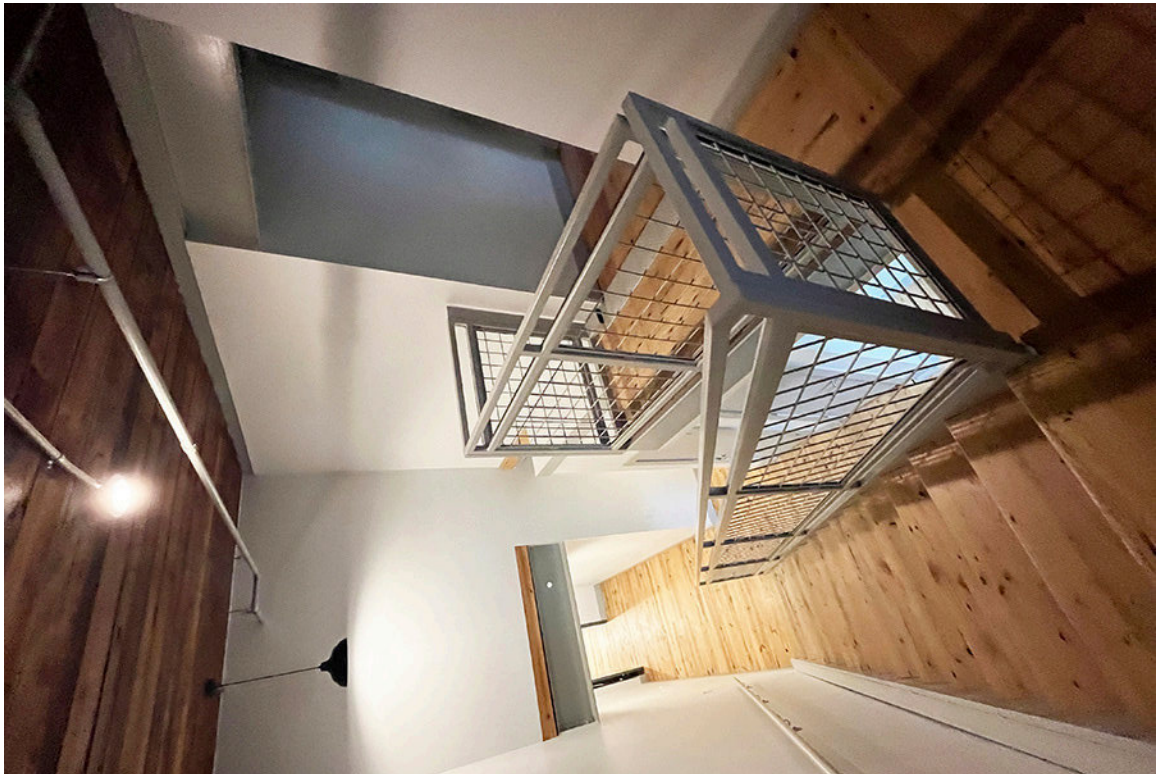


84. Mill House - Fourth Floor: Typical Townhouse unit living space looking toward kitchen





85. Mill House - Fourth Floor: Typical Townhouse unit hallway toward stair to second level



86. Mill House - Fourth Floor: Typical Townhouse unit, second level looking down toward entry





87. Mill House - Fourth Floor: Typical Townhouse unit, second level hall to bedroom



88. Mill House - Fourth Floor: Typical Townhouse unit, second level bedroom looking South East





89. Mill House - Fourth Floor: Typical Townhouse unit, second level bedroom looking West



90. Mill House - Fourth Floor: Typical Townhouse unit, second level master bathroom



91. Mill House - Fourth Floor: Typical Townhouse unit, second level master bathroom



92. Mill House - Fourth Floor: Typical Townhouse unit entry hall





93. Mill House - Fourth Floor: Typical Townhouse unit entry hall looking back toward entry



94. Mill House - Fourth Floor: Typical Townhouse hall looking toward living space



95. Mill House - Fourth Floor: Typical Townhouse unit bathroom



96. Mill House - Fourth Floor: Typical Townhouse unit bedroom





97. Mill House - Fourth Floor: Typical Townhouse unit bedroom

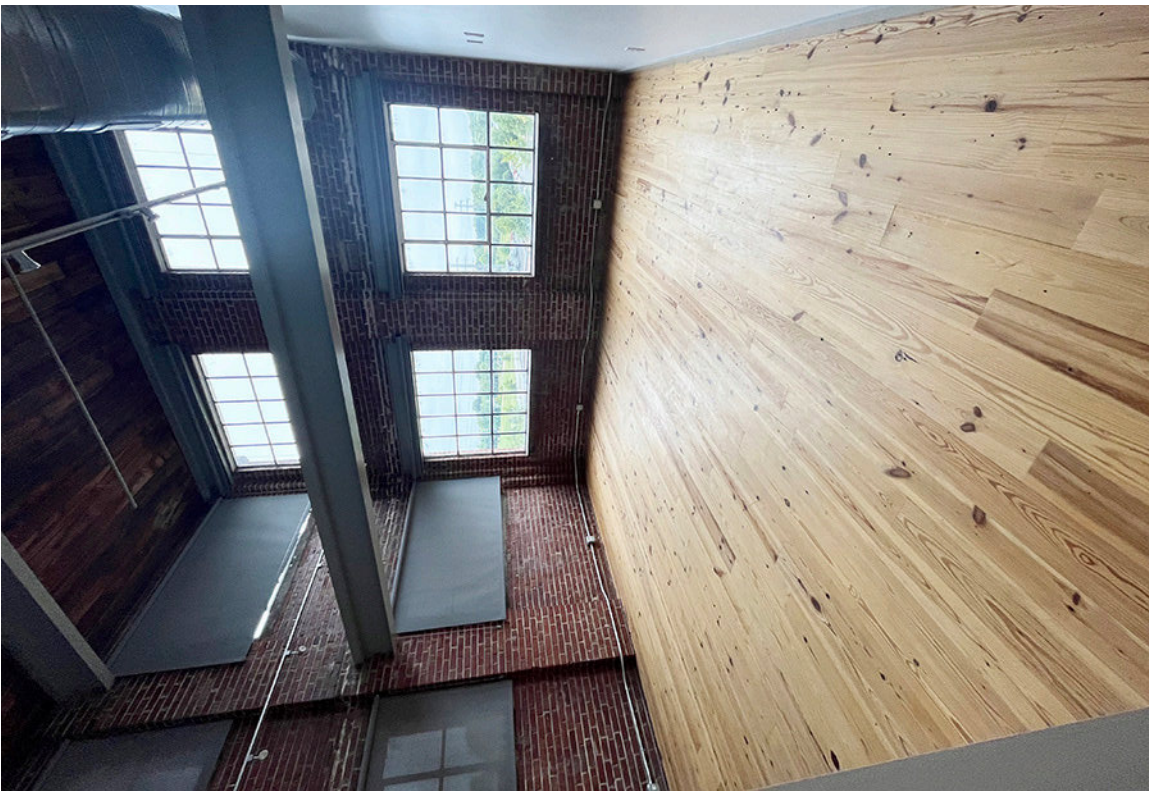


98. Mill House - Fourth Floor: Typical Townhouse unit bathroom





99. Mill House - Fourth Floor: Typical Townhouse unit hallway



100. Mill House - Fourth Floor: Typical Townhouse unit living space





101. Mill House - Fourth Floor: Typical Townhouse unit living space



102. Mill House - Fourth Floor: Typical Townhouse unit kitchen





103. Mill House - Fourth Floor: Typical Townhouse unit stair to second level



104. Mill House - Fourth Floor: Second level looking down toward entry





105. Mill House - Fourth Floor: Second level hall to bedroom



106. Mill House - Fourth Floor: Second level





107. Mill House - Fourth Floor: Second level bedroom looking South West



108. Mill House - Fourth Floor: Second level bedroom looking South East





109. Mill House - Fourth Floor: Second level master bathroom

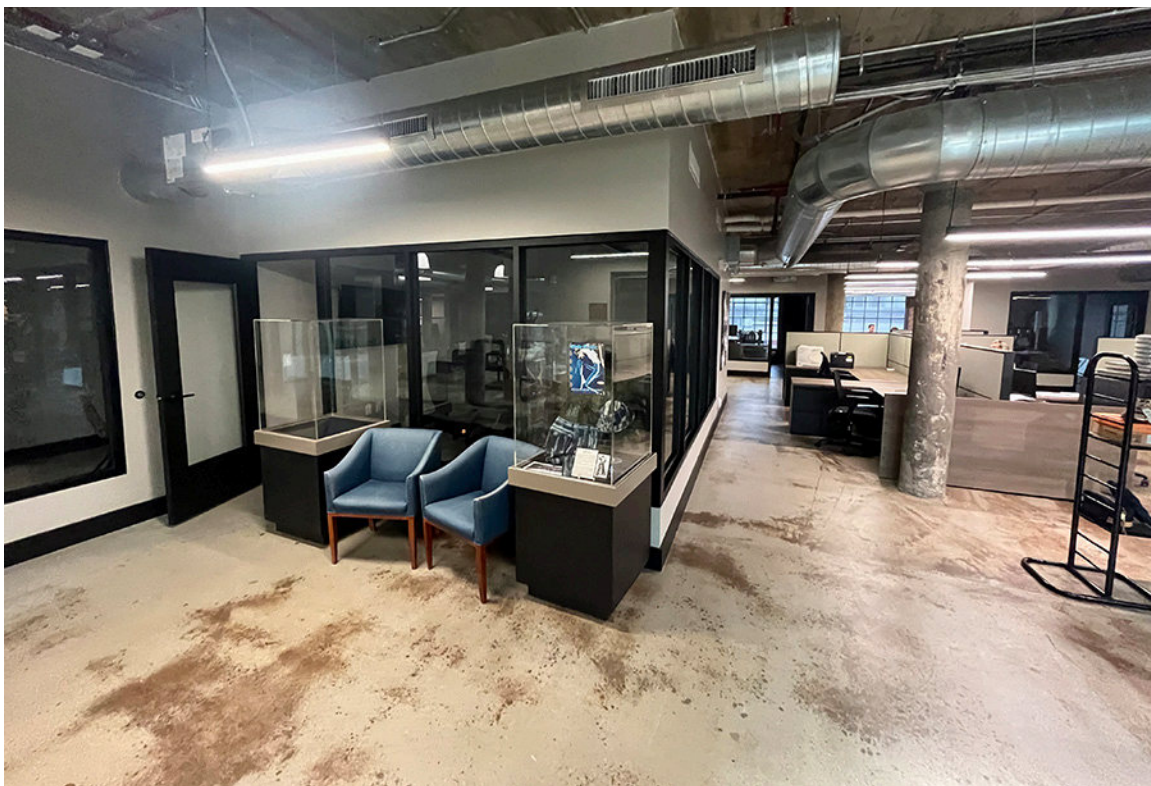


110. Mill House - Fourth Floor: Second level master bathroom



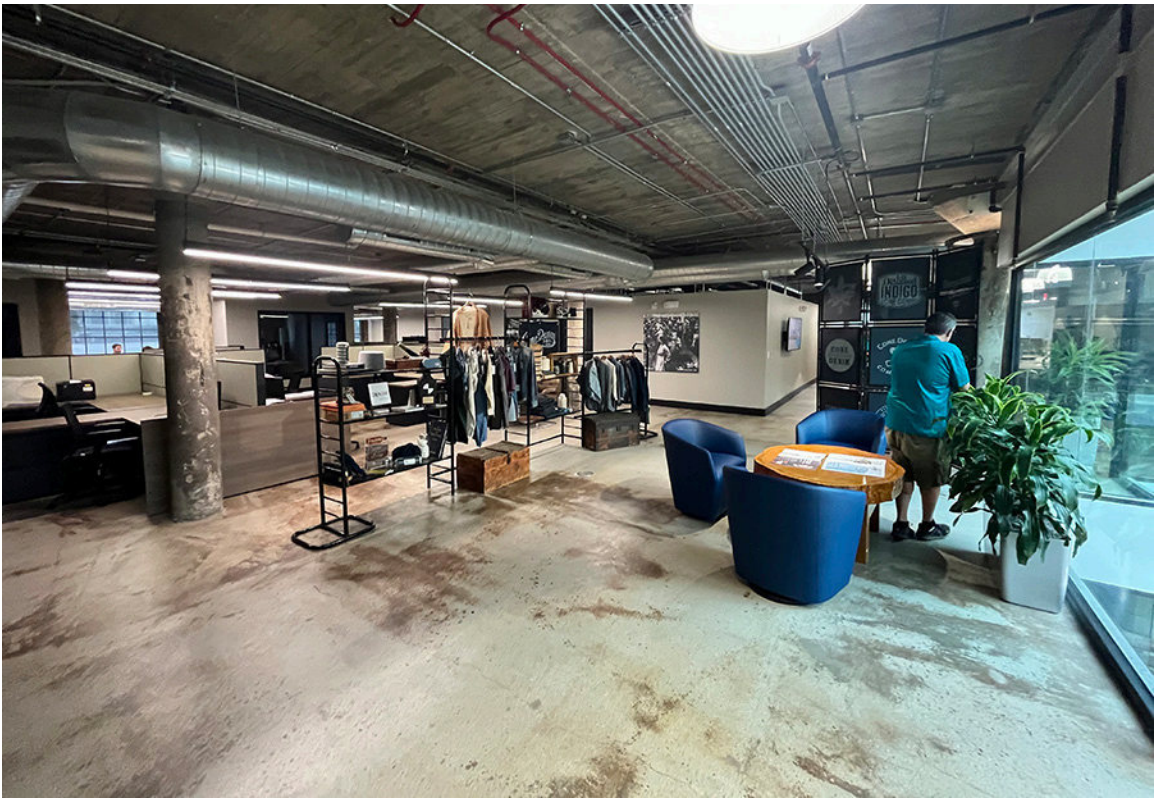


111. Mill House: Fifth floor, Elevate Textiles commercial tenant space: Lobby looking West

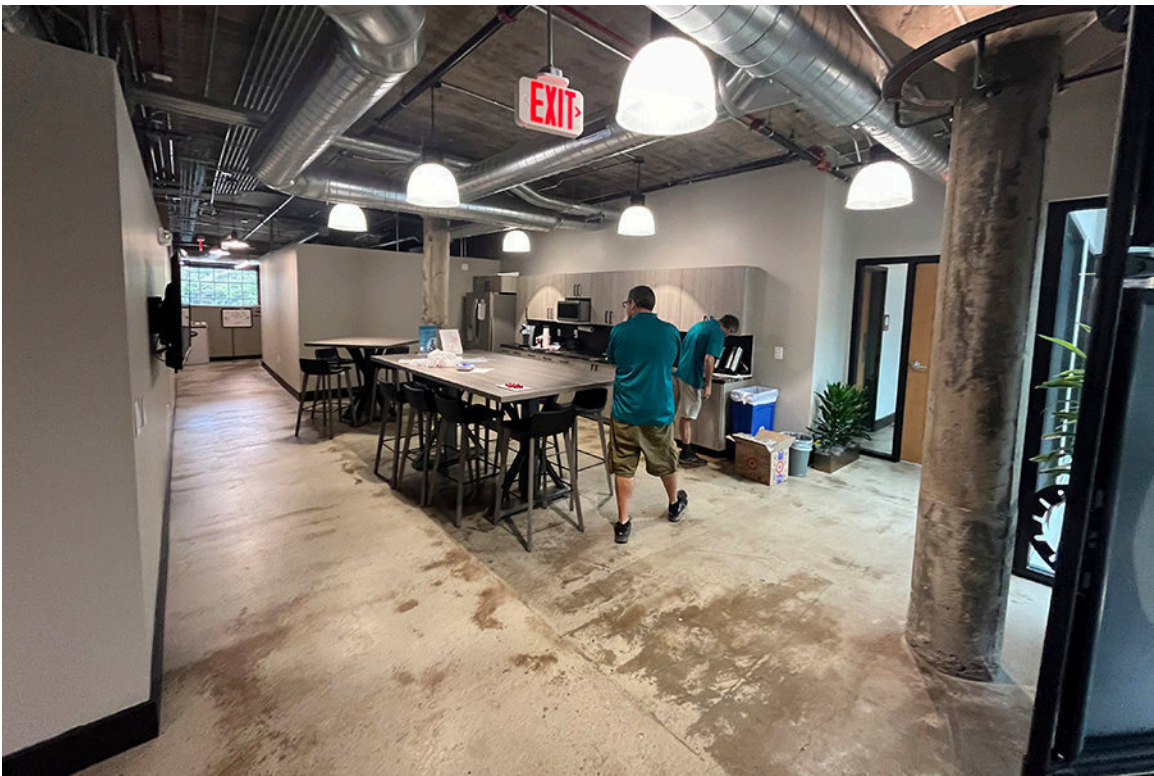


112. Mill House - Fifth Floor, Elevate Textiles commercial tenant space: Lobby looking East



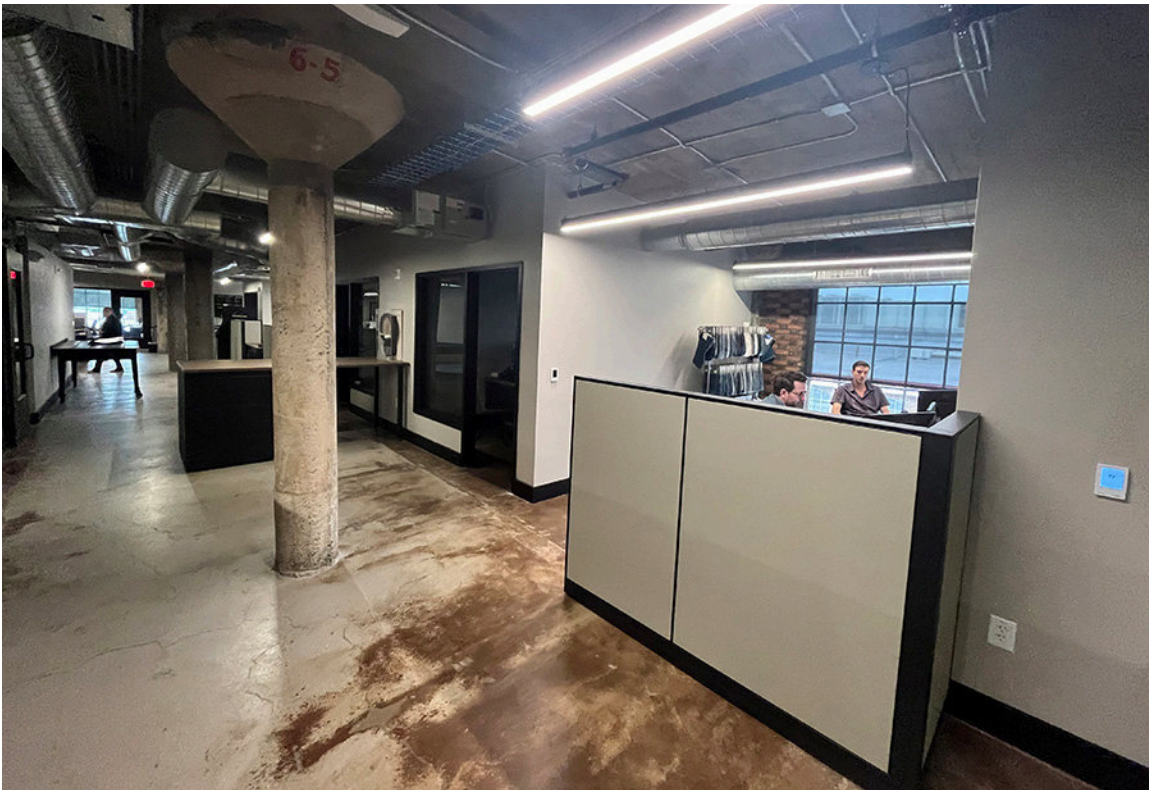


113. Mill House - Fifth Floor, Elevate Textiles commercial tenant space: Lobby looking East

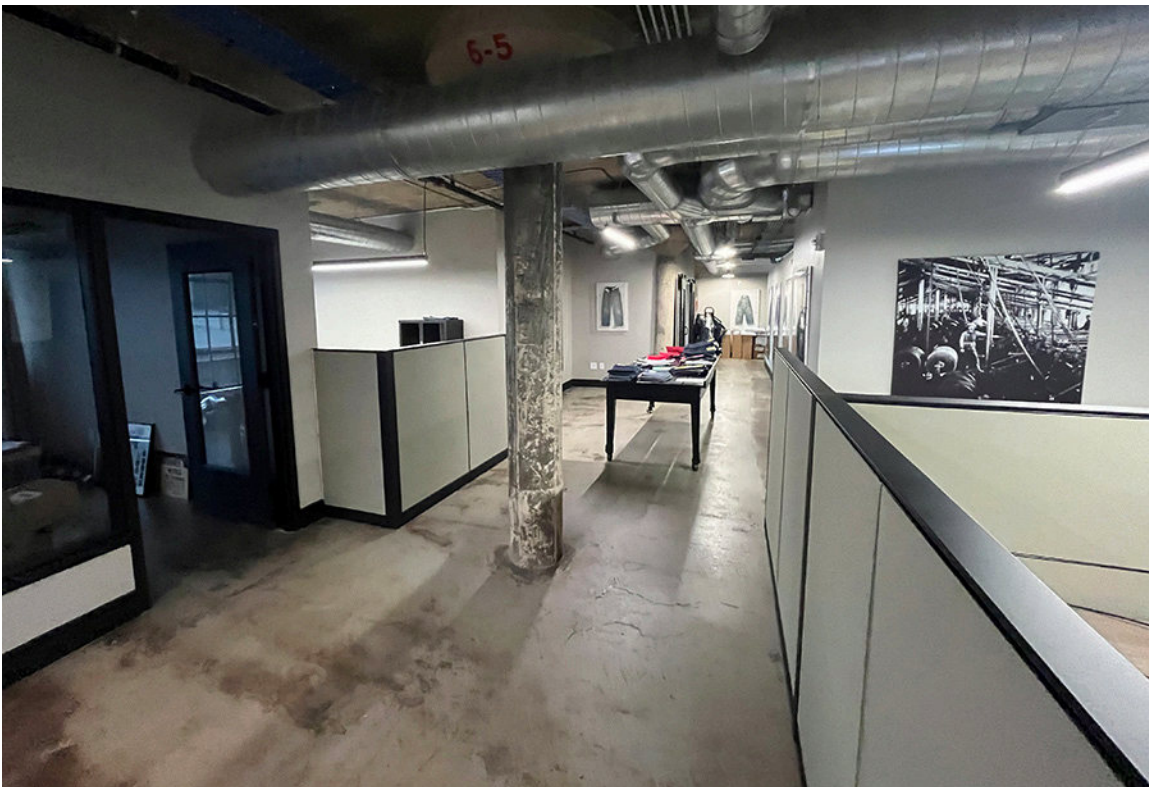


114. Mill House - Fifth Floor, Elevate Textiles commercial tenant space: Break room



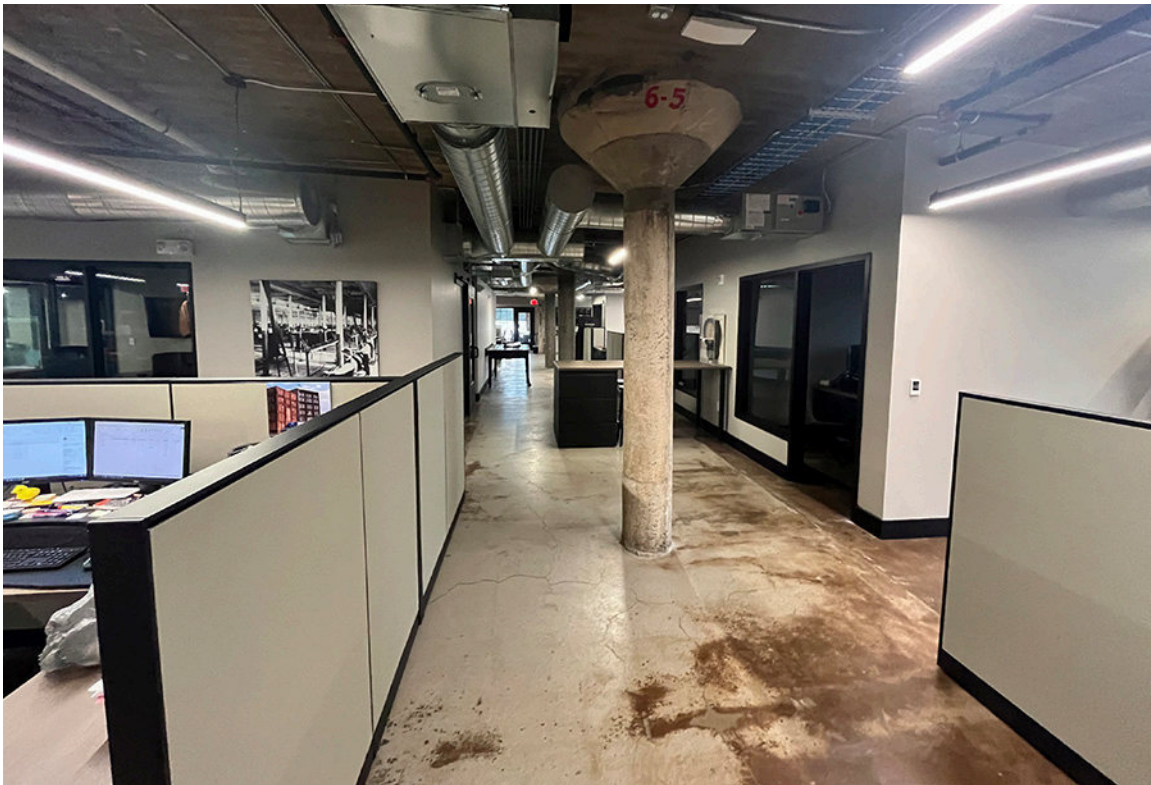


115. Mill House - Fifth Floor, Elevate Textiles commercial tenant space: Looking West

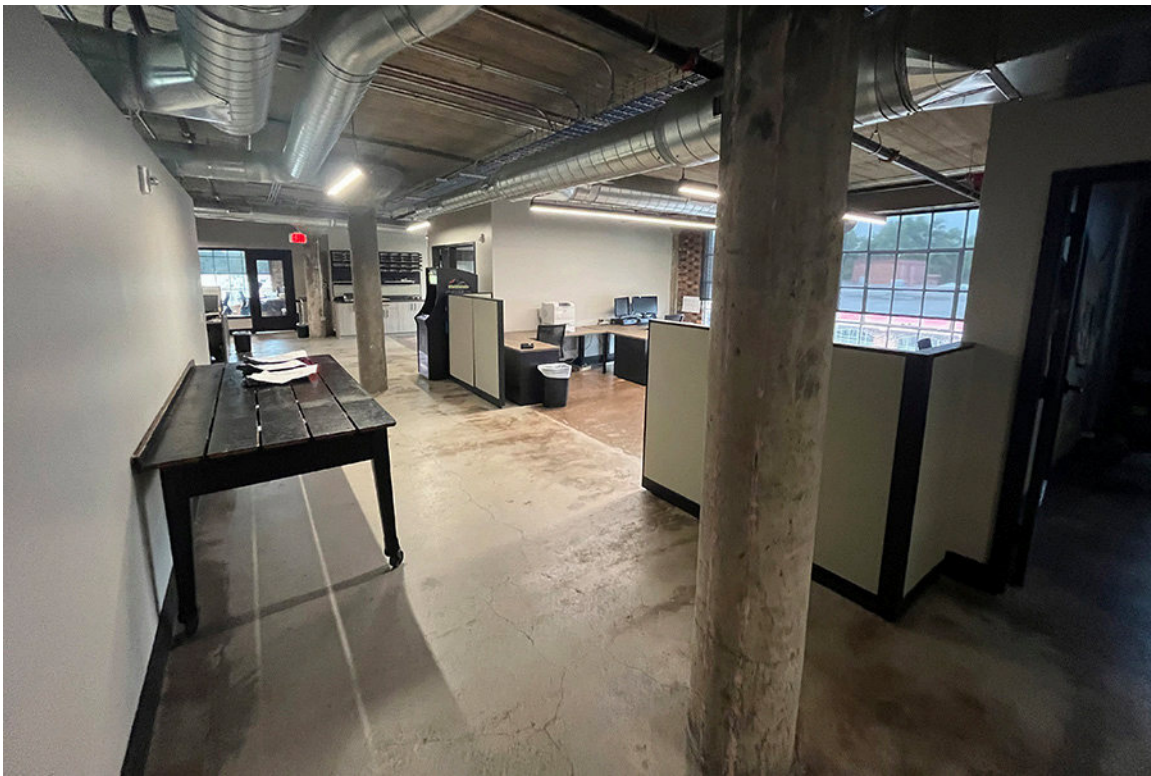


116. Mill House - Fifth Floor, Elevate Textiles commercial tenant space: Looking East



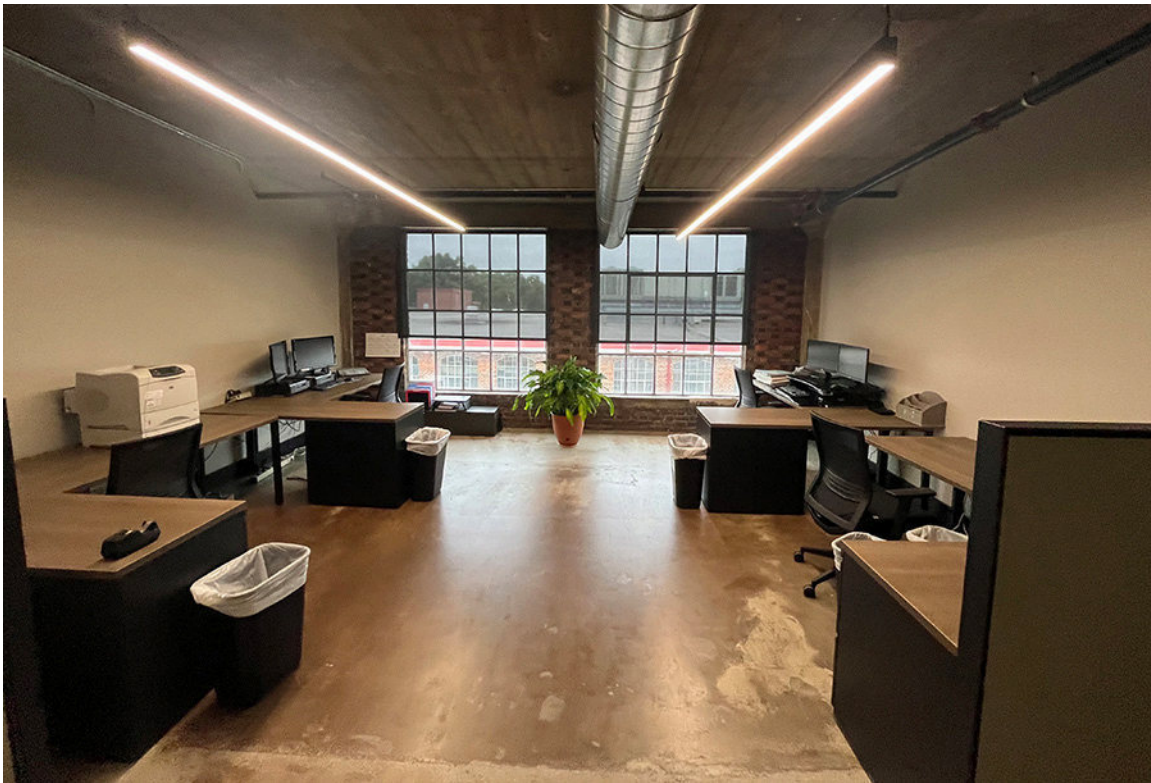


117. Mill House - Fifth Floor, Elevate Textiles commercial tenant space: Looking West

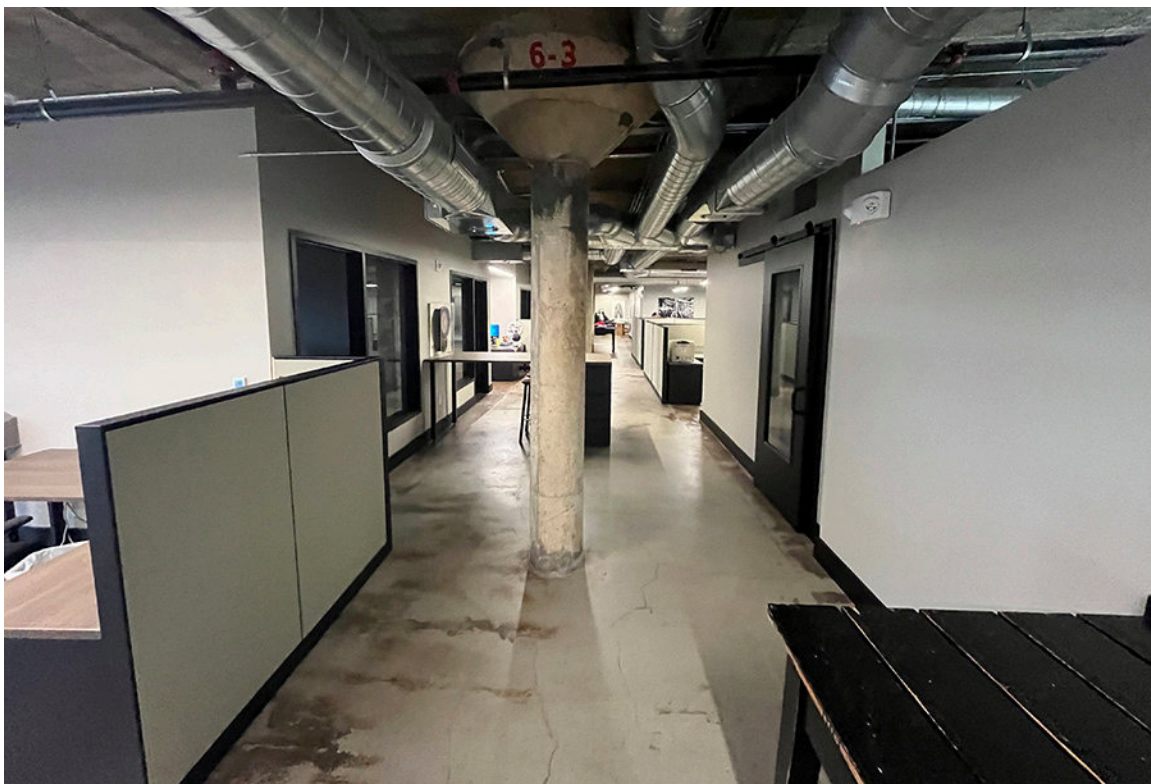


118. Mill House - Fifth Floor, Elevate Textiles commercial tenant space: Looking North West





119. Mill House - Fifth Floor, Elevate Textiles commercial tenant space: Looking North toward main mill

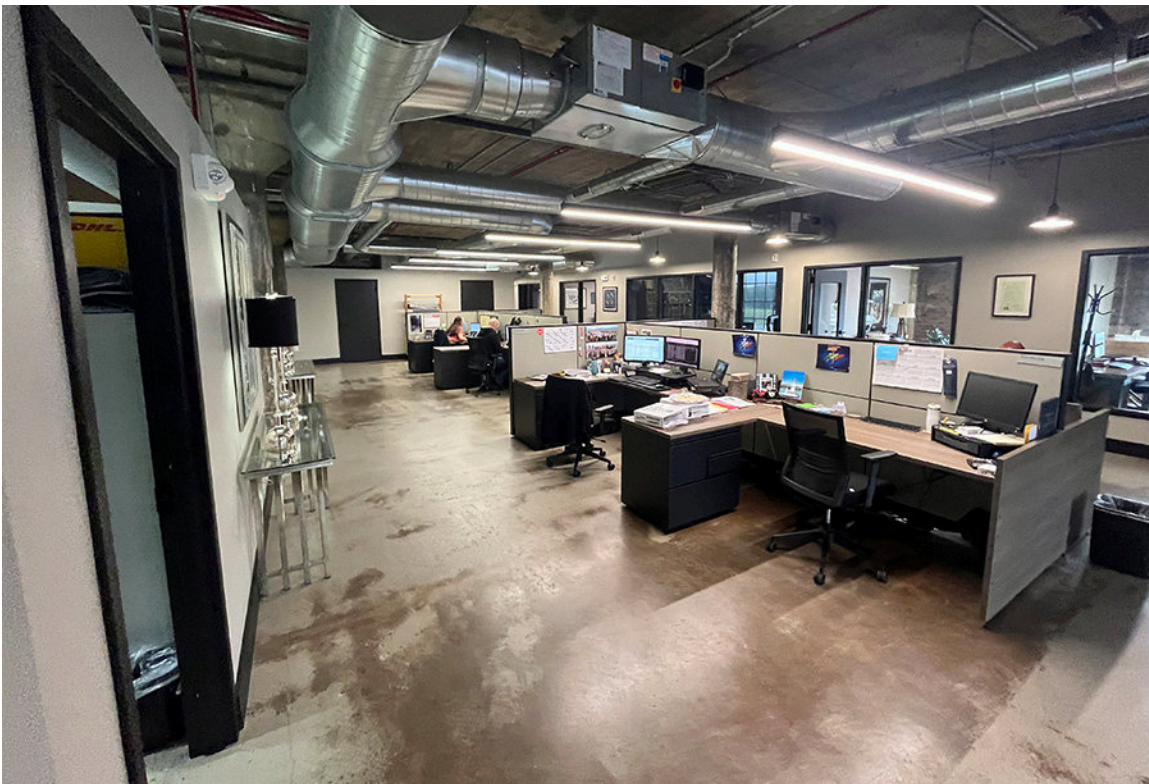


120. Mill House - Fifth Floor, Elevate Textiles commercial tenant space: Looking East



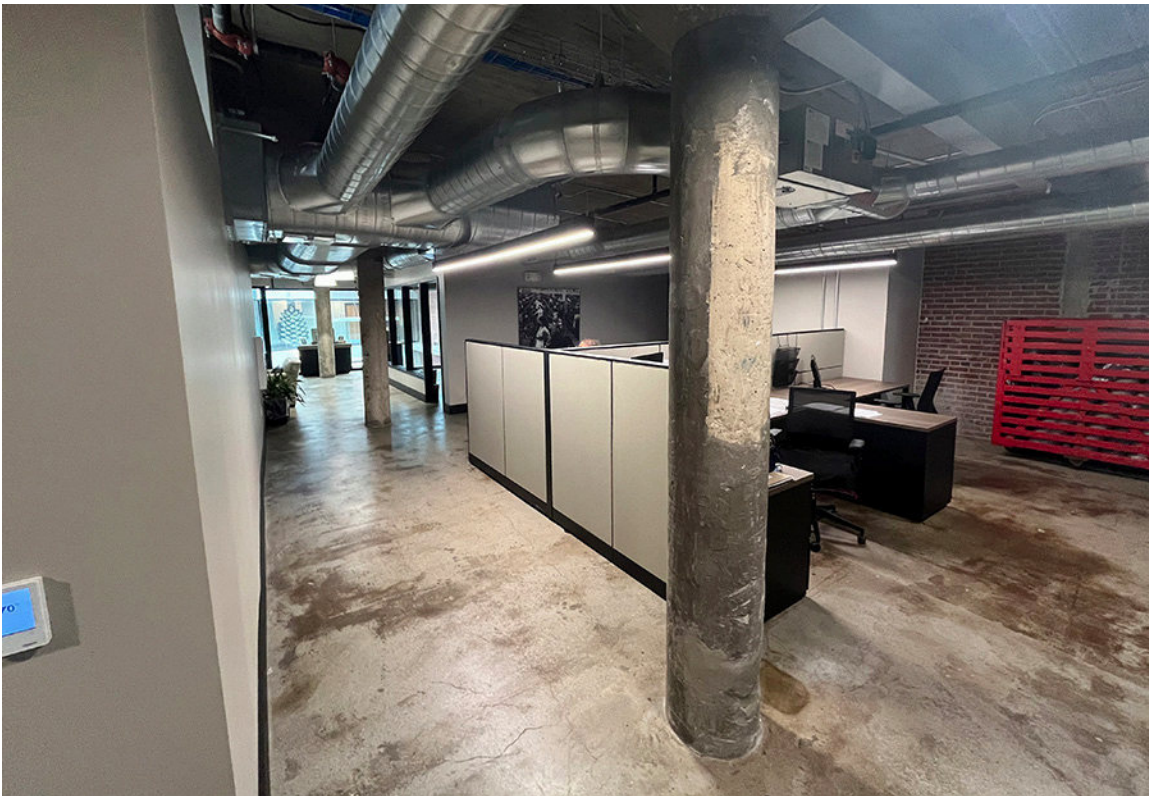


121. Mill House - Fifth Floor, Elevate Textiles commercial tenant space: Looking North West

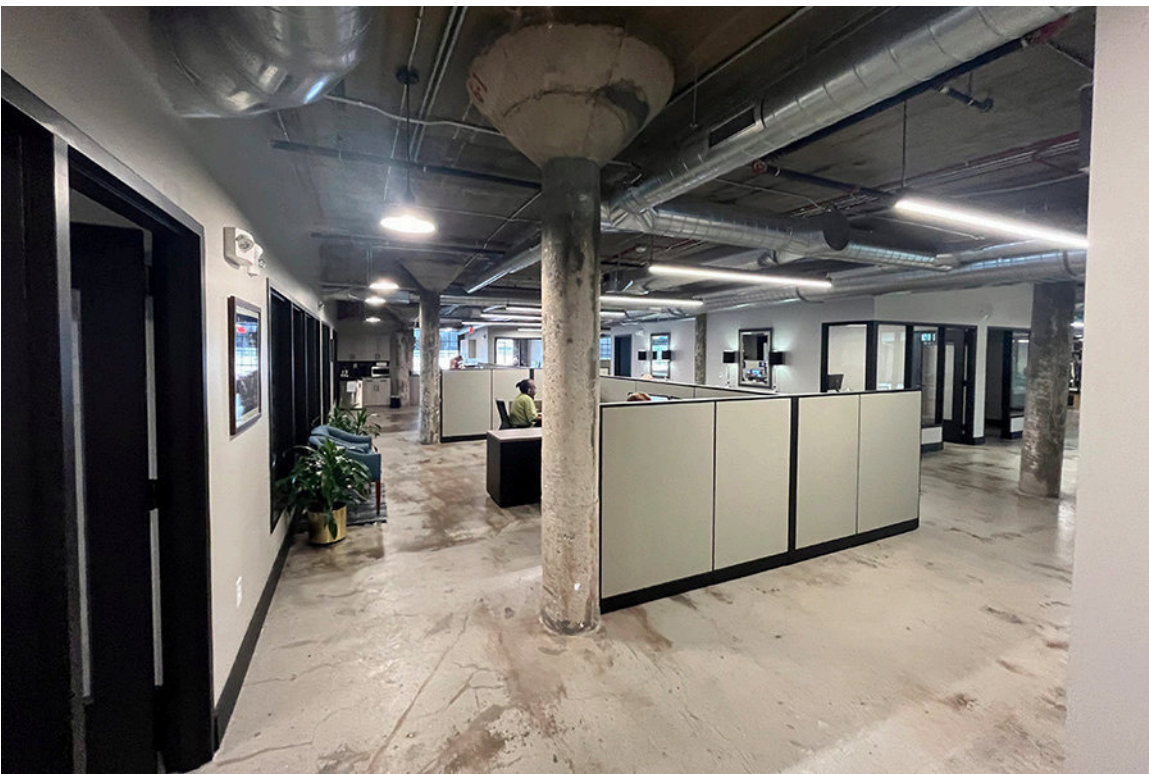


122. Mill House - Fifth Floor, Elevate Textiles commercial tenant space: looking South West



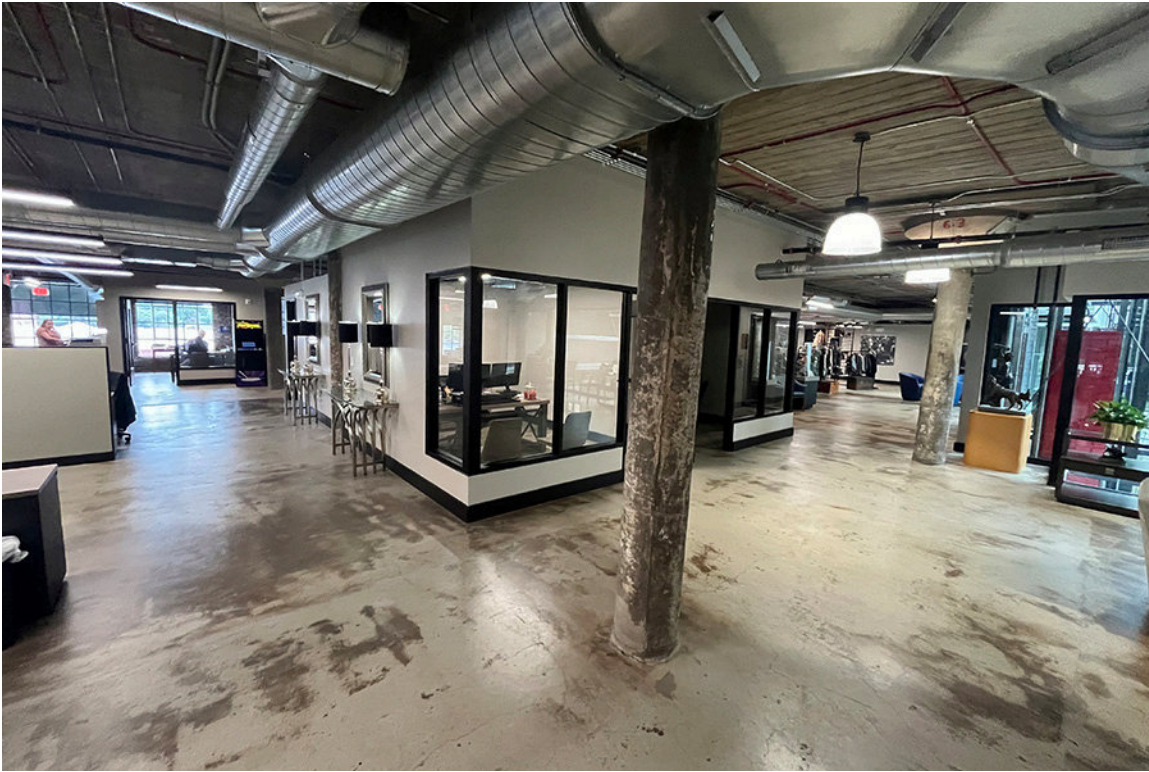


123. Mill House - Fifth Floor, Elevate Textiles commercial tenant space: Looking South East



124. Mill House - Fifth Floor, Elevate Textiles commercial tenant space: Looking North East





125. Mill House - Fifth Floor, Elevate Textiles commercial tenant space: Looking North East

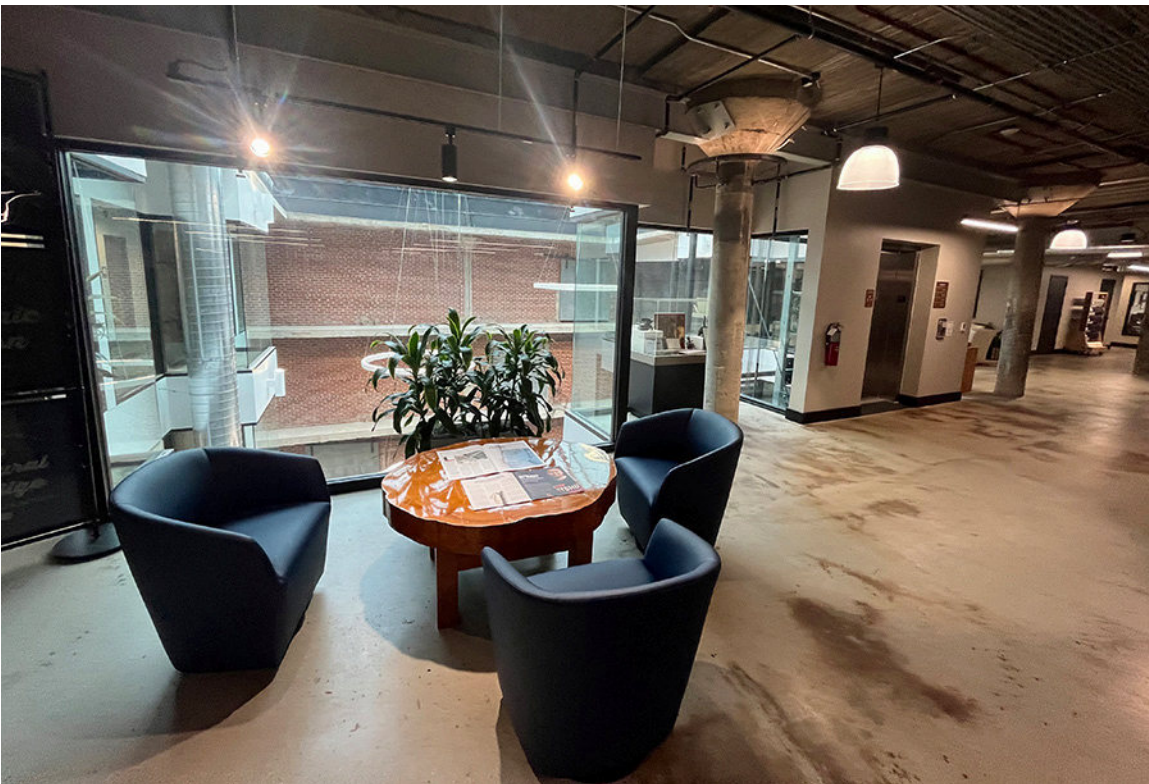


126. Mill House - Fifth Floor, Elevate Textiles commercial tenant space: Looking South East





127. Mill House - Fifth Floor, Elevate Textiles commercial tenant space: Looking North East



128. Mill House - Fifth Floor, Elevate Textiles commercial tenant space: Looking toward elevator and skylight atrium





1. Mill House: East Elevation



2. Mill House: Main / East Entrance





3. Mill House: Co-Working Office Entry



4. Mill House: South Elevation

37. Looking South from within one of the Mini Office Suites





5. Mill House: South Entrance



6. Mill House: South Apartment Entrance





7. Mill House: West Elevation



8. Mill House: West Elevation





9. Mill House: Connector bridge to main mill



10. Mill House: North West corner





11. Mill House: North Elevation



12. Mill House: North Entry





13. Mill House: Dock looking South



14. Mill House: Dock looking West





15. Mill House - First Floor: Lobby off of East entry looking West

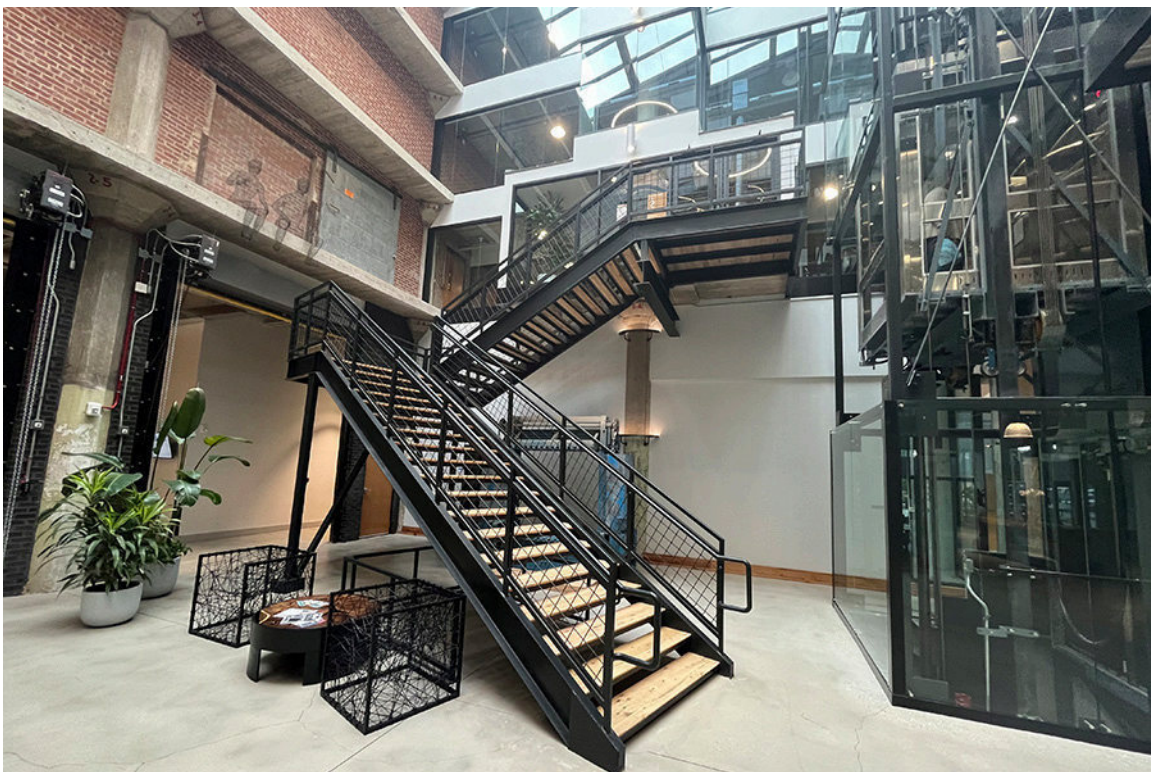


16. Mill House - First Floor: Lobby looking East at Entry





17. Mill House - First Floor: Skylight Atrium



18. Mill House - First Floor: Skylight Atrium





19. Mill House - First Floor: Skylight Atrium



20. Mill House - First Floor: Skylight Atrium looking South to 1930 wing





21. Mill House - First Floor: Looking South to South entry of 1930 wing



22. Mill House - First Floor: 1930 wing looking South West





23. Mill House - First Floor: 1930 wing looking South East



24. Mill House - First Floor: Entry to Co-Working offices





25. Mill House - First Floor: Co-Working offices

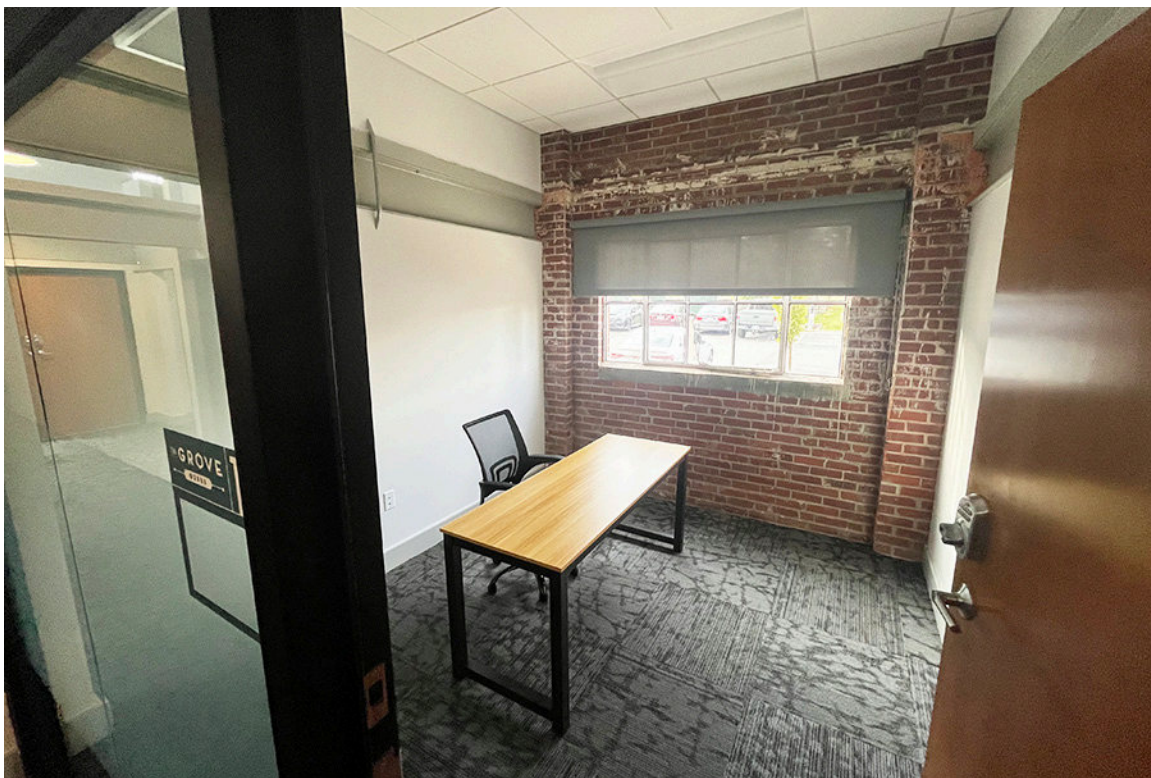


26. Mill House - First Floor: Co-Working offices looking North





27. Mill House - First Floor: Co-Working offices looking East



28. Mill House - First Floor: Co-Working offices, typical office





29. Mill House - First Floor: Nail Salon Entry



30. Mill House - First Floor: Nail Salon





31. Mill House - First Floor: Nail Salon

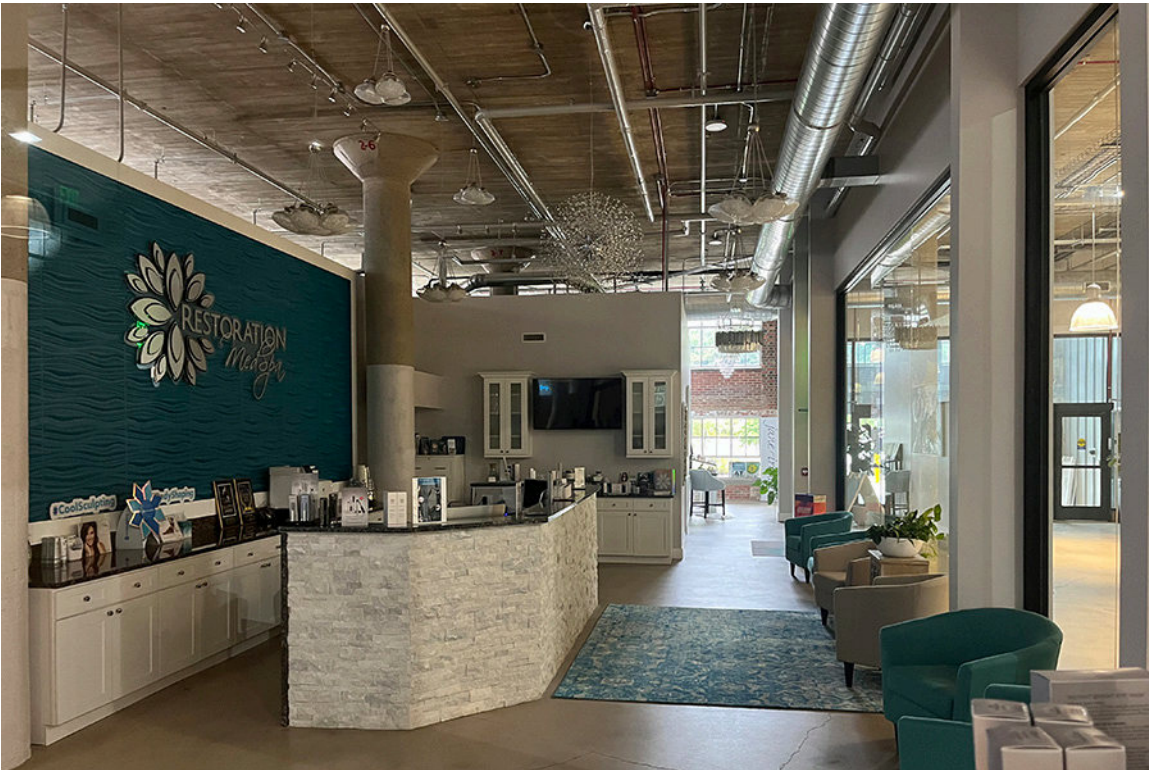


32. Mill House - First Floor: MedSpa looking North West





33. Mill House - First Floor: MedSpa looking North



34. Mill House - First Floor: MedSpa looking East





35. Mill House - First Floor: MedSpa looking North

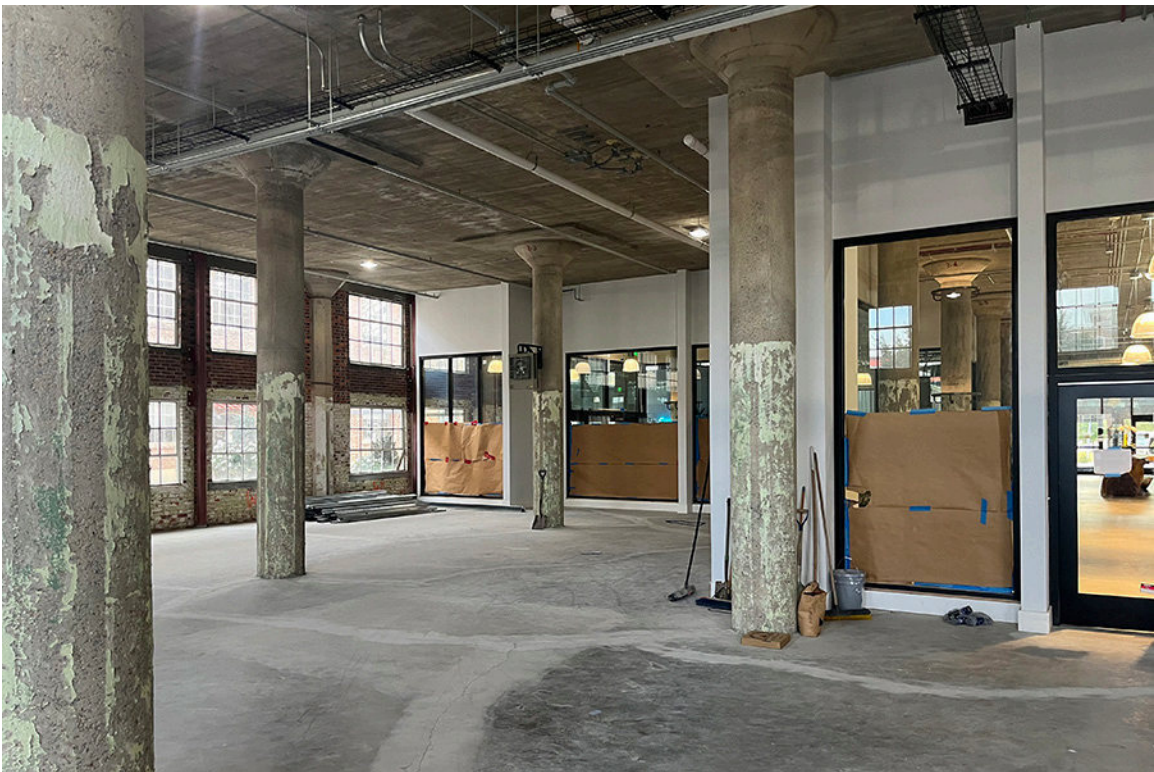


36. Mill House - First Floor: Future tenant space looking East toward entry





37. Mill House - First Floor: Future tenant space



38. Mill House - First Floor: Future tenant space looking North West





39. Mill House - First Floor: Future tenant space looking North



40. Mill House - First Floor: Future tenant space looking North West toward docks





41. Mill House - First Floor: Future tenant space looking West toward smoke stacks



42. Mill House - First Floor: Apartment lobby looking at entry



43. Mill House - First Floor: Apartment lobby looking North East



44. Mill House - First Floor: Apartment lobby looking North





45. Mill House - First Floor: Typical apartment flat hallway



46. Mill House - First Floor: Typical apartment flat hallway looking into bedroom



47. Mill House - First Floor: Typical apartment flat bedroom



48. Mill House - First Floor: Typical apartment flat master bathroom





49. Mill House - First Floor: Typical apartment flat hallway looking West



50. Mill House - First Floor: Typical apartment flat bathroom



51. Mill House - First Floor: Typical apartment flat living space



52. Mill House - First Floor: Typical apartment flat living space





53. Mill House - First Floor: Typical apartment flat living space looking toward kitchen



54. Mill House - Second Floor: looking South toward restrooms





55. Mill House - Second Floor: Typical common restrooms



56. Mill House - Second Floor: Skylight Atrium looking West





57. Mill House - Second Floor: Common corridor looking North

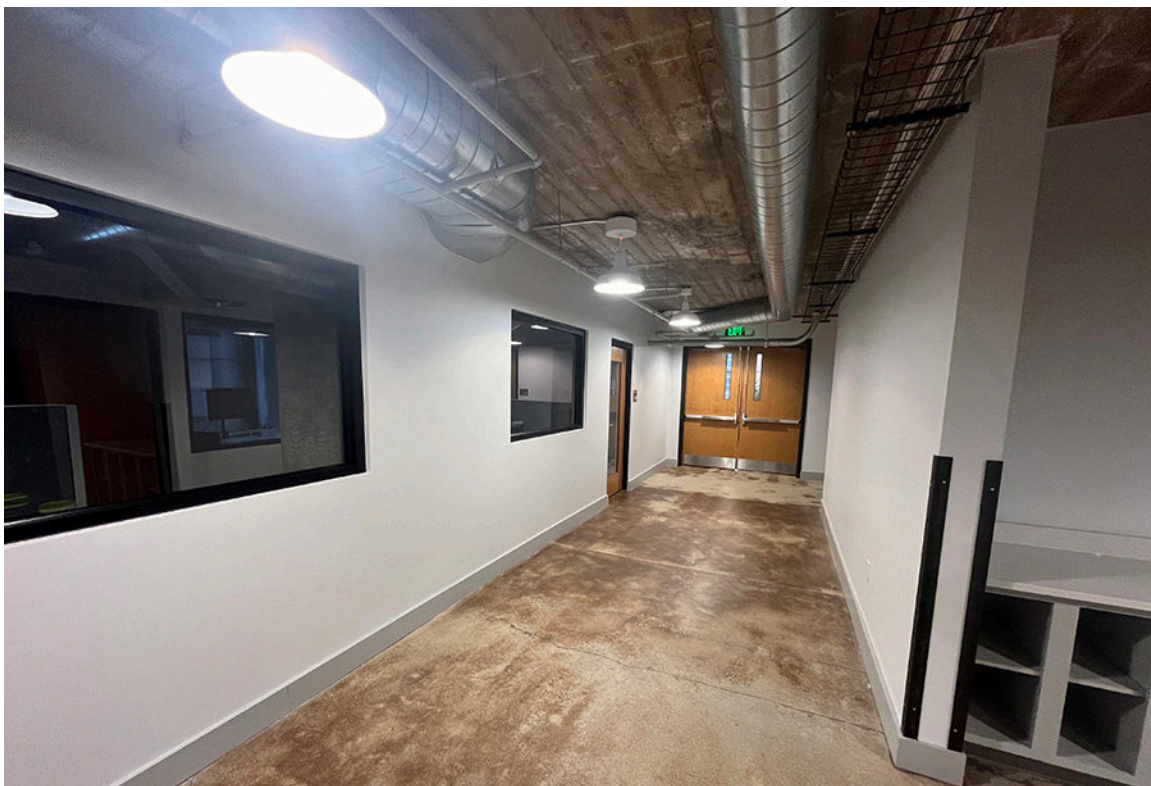


58. Mill House - Second Floor: Common corridor looking West





59. Mill House - Second Floor: Looking North West at mail / concierge

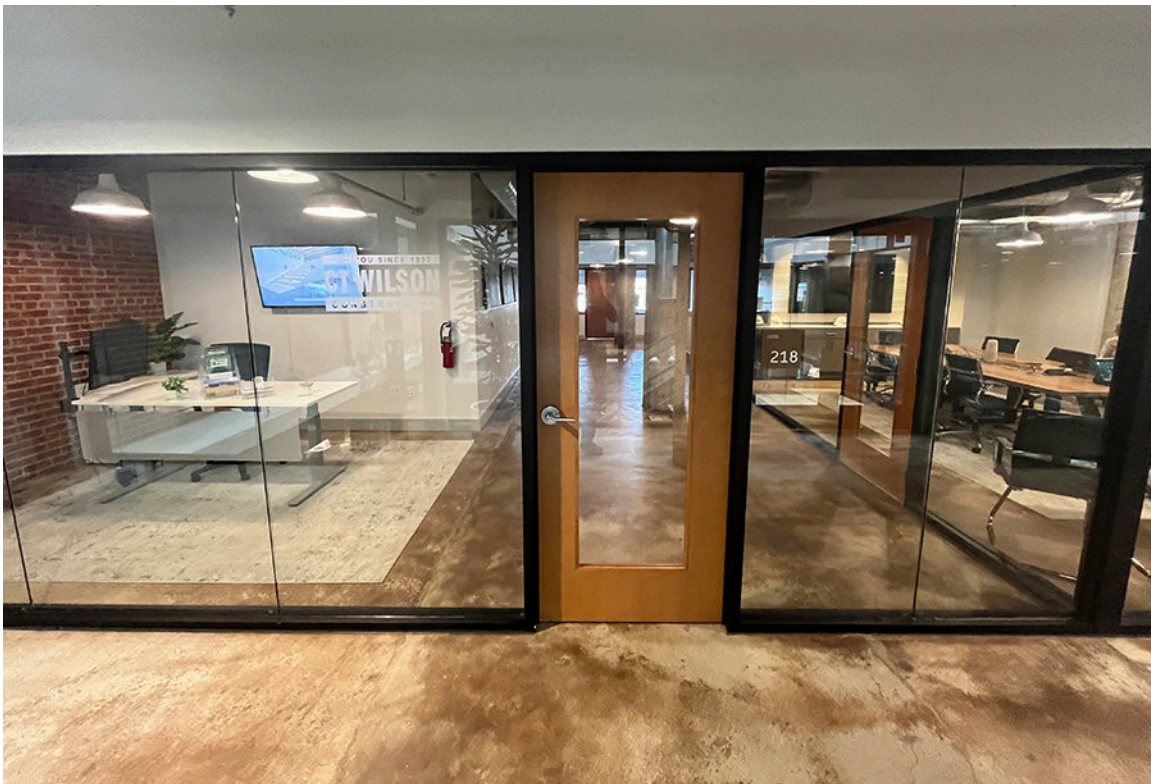


60. Mill House - Second Floor: Common corridor looking North toward exit & connector bridge



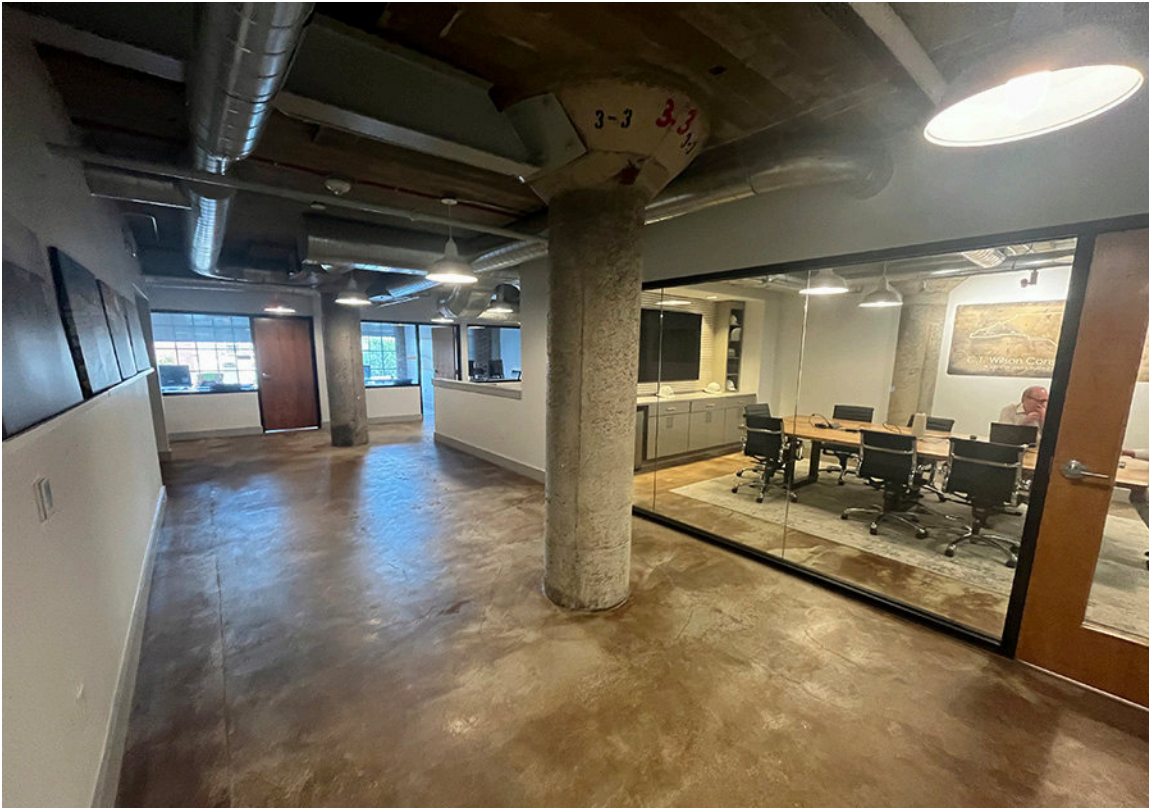


61. Mill House - Second Floor: Common corridor looking South

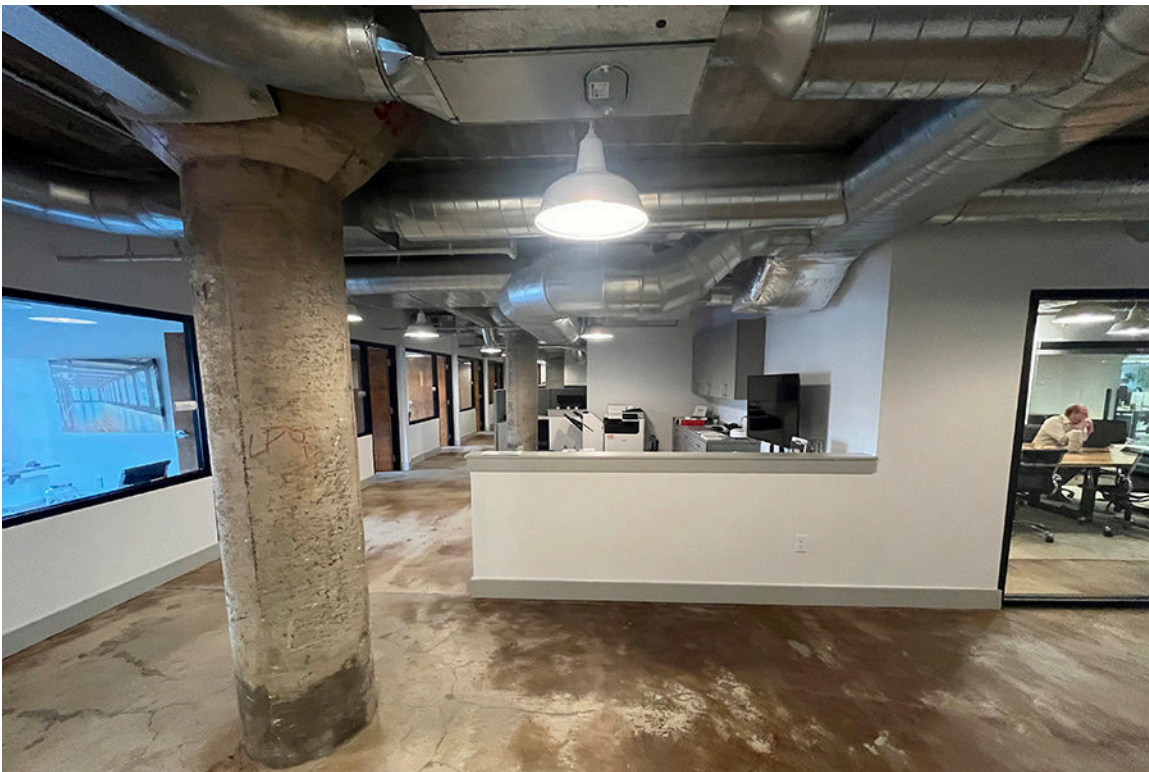


62. Mill House - Second Floor: C. T. Wilson construction office entry





63. Mill House - Second Floor: C. T. Wilson construction office looking North West



64. Mill House - Second Floor: C. T. Wilson construction office looking North



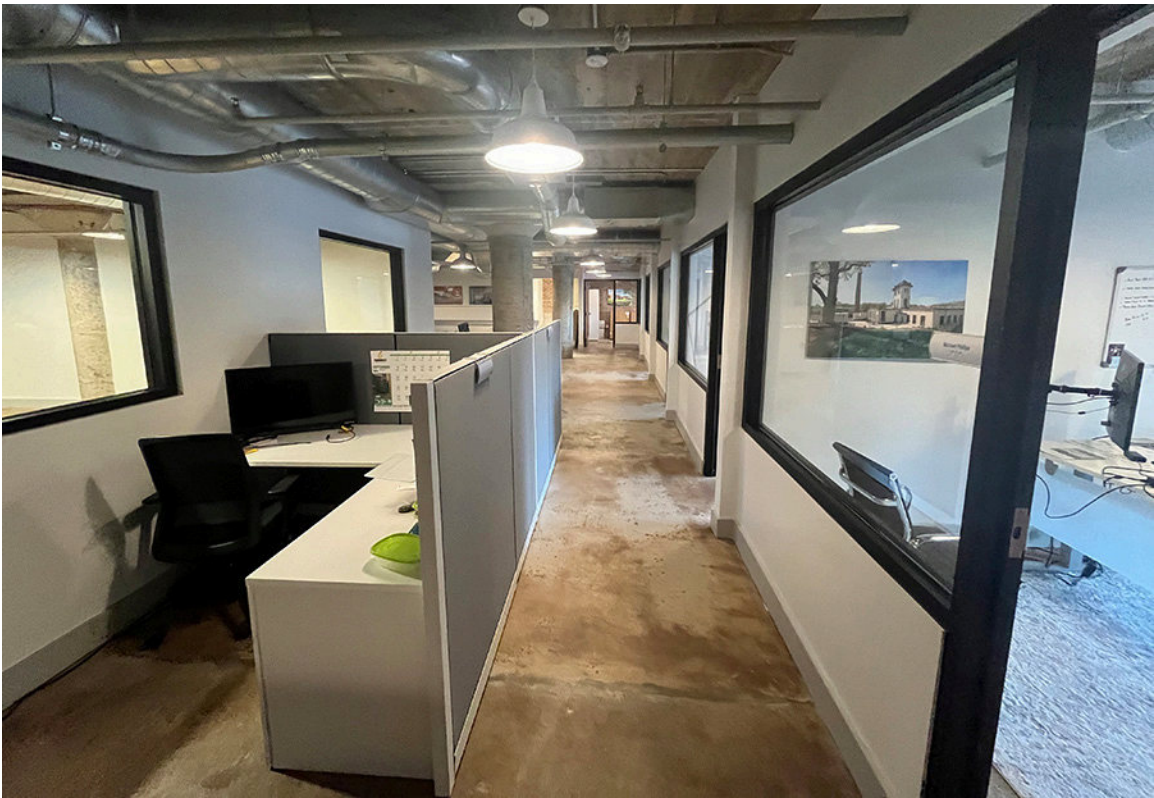


65. Mill House - Second Floor: C. T. Wilson construction office, typical office

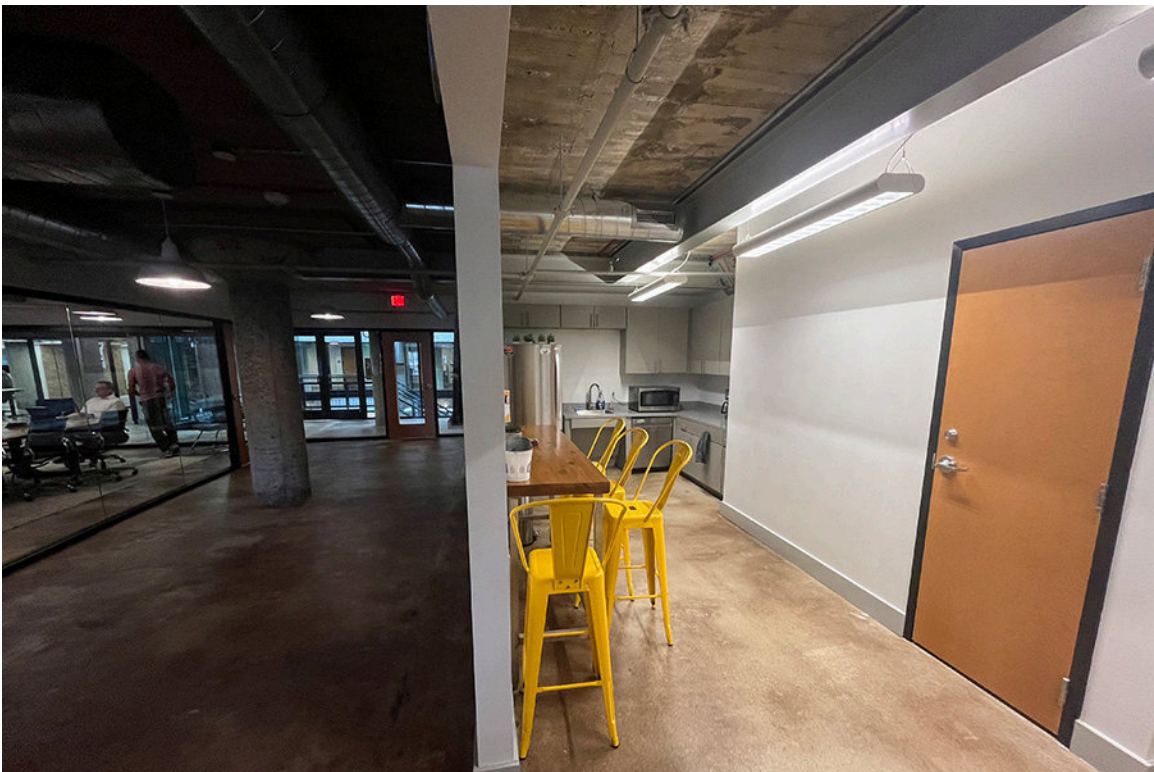


66. Mill House - Second Floor: C. T. Wilson construction office looking North





67. Mill House - Second Floor: C. T. Wilson construction office looking South

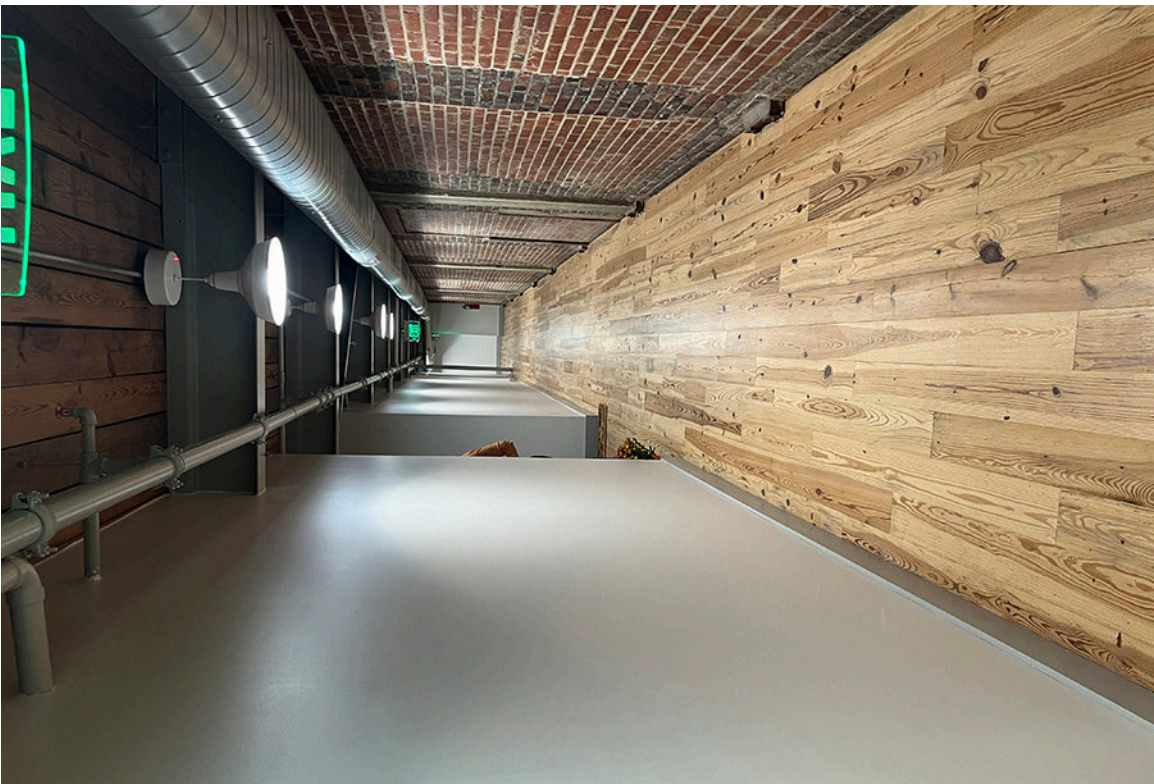


68. Mill House - Second Floor: C. T. Wilson construction office looking East





69. Mill House - Fourth Floor: Common Commercial corridor



70. Mill House - Fourth Floor: Common Apartment corridor





71. Mill House - Fourth Floor: Apartment entry's

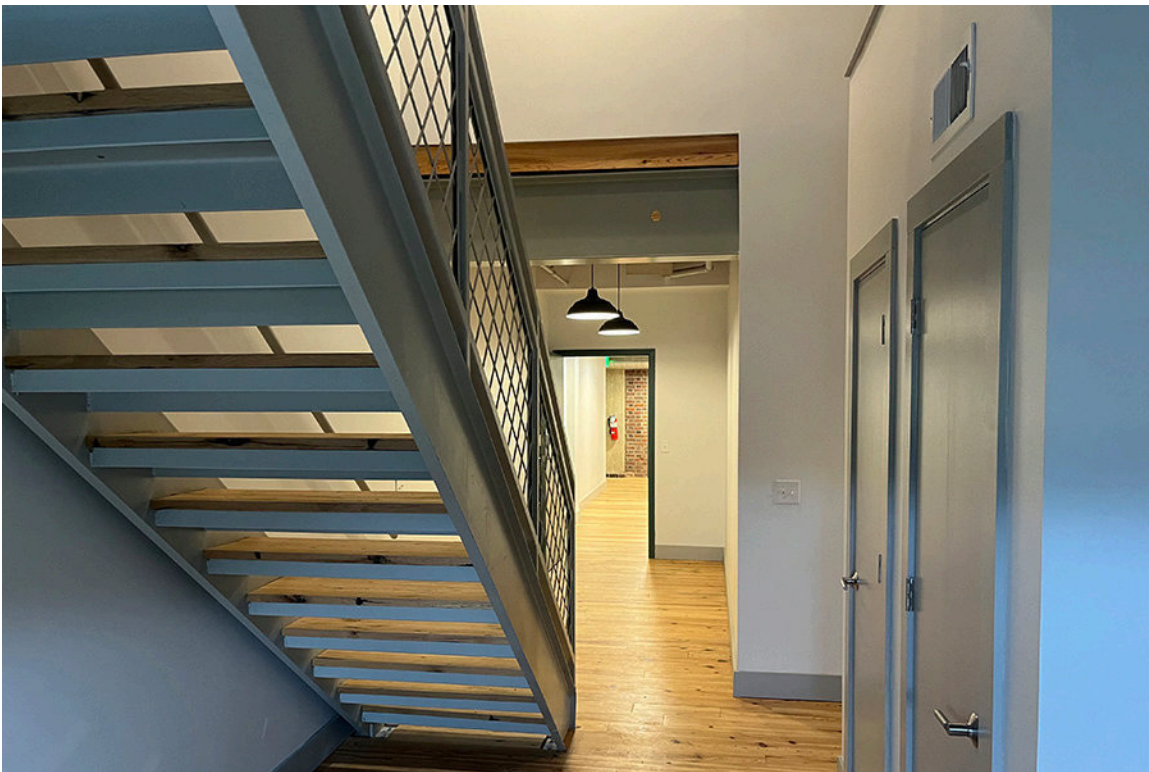


72. Mill House - Fourth Floor: Typical Townhouse unit entry hall





73. Mill House - Fourth Floor: Typical Townhouse unit entry hall



74. Mill House - Fourth Floor: Typical Townhouse unit looking toward entry



75. Mill House - Fourth Floor: Typical Townhouse unit hallway



76. Mill House - Fourth Floor: Typical Townhouse unit bathroom





77. Mill House - Fourth Floor: Typical Townhouse unit looking into bedroom



78. Mill House - Fourth Floor: Typical Townhouse unit bedroom





79. Mill House - Fourth Floor: Typical Townhouse unit bedroom



80. Mill House - Fourth Floor: Typical Townhouse unit bathroom





81. Mill House - Fourth Floor: Typical Townhouse unit hallway toward living space



82. Mill House - Fourth Floor: Typical Townhouse unit living space looking South East





83. Mill House - Fourth Floor: Typical Townhouse unit living space looking toward kitchen

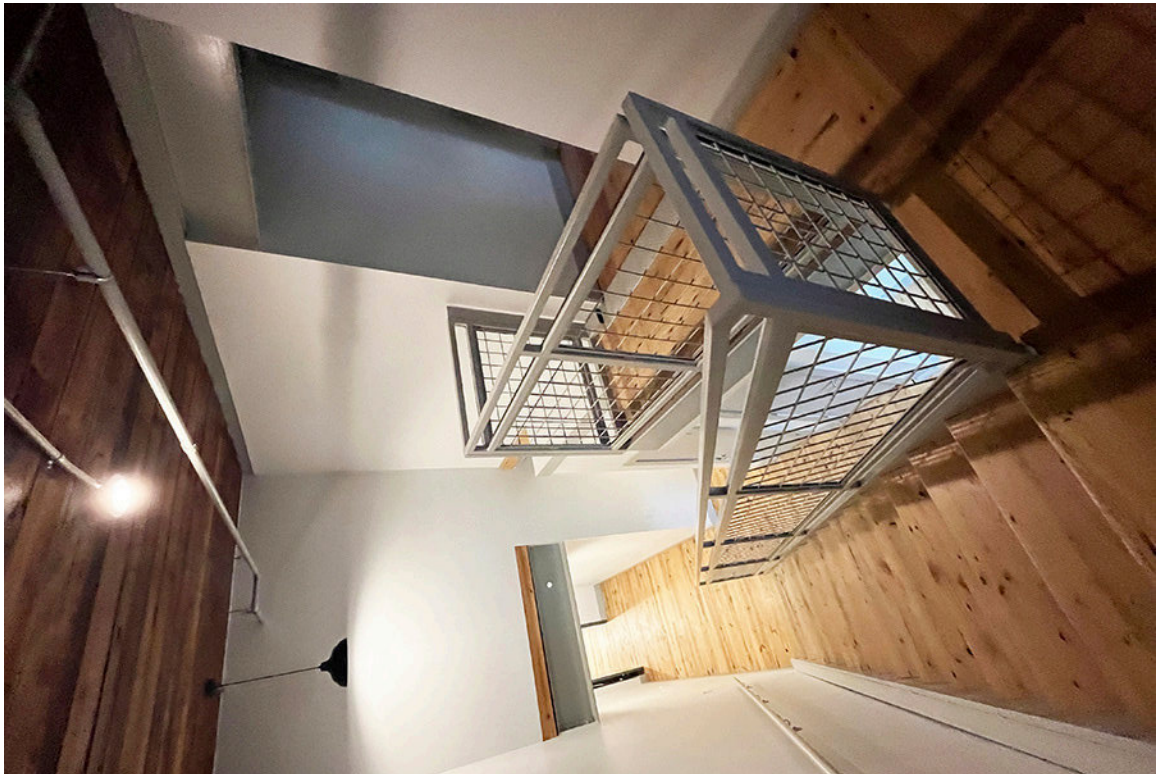


84. Mill House - Fourth Floor: Typical Townhouse unit living space looking toward kitchen





85. Mill House - Fourth Floor: Typical Townhouse unit hallway toward stair to second level



86. Mill House - Fourth Floor: Typical Townhouse unit, second level looking down toward entry





87. Mill House - Fourth Floor: Typical Townhouse unit, second level hall to bedroom



88. Mill House - Fourth Floor: Typical Townhouse unit, second level bedroom looking South East





89. Mill House - Fourth Floor: Typical Townhouse unit, second level bedroom looking West



90. Mill House - Fourth Floor: Typical Townhouse unit, second level master bathroom



91. Mill House - Fourth Floor: Typical Townhouse unit, second level master bathroom



92. Mill House - Fourth Floor: Typical Townhouse unit entry hall





93. Mill House - Fourth Floor: Typical Townhouse unit entry hall looking back toward entry



94. Mill House - Fourth Floor: Typical Townhouse hall looking toward living space



95. Mill House - Fourth Floor: Typical Townhouse unit bathroom



96. Mill House - Fourth Floor: Typical Townhouse unit bedroom





97. Mill House - Fourth Floor: Typical Townhouse unit bedroom

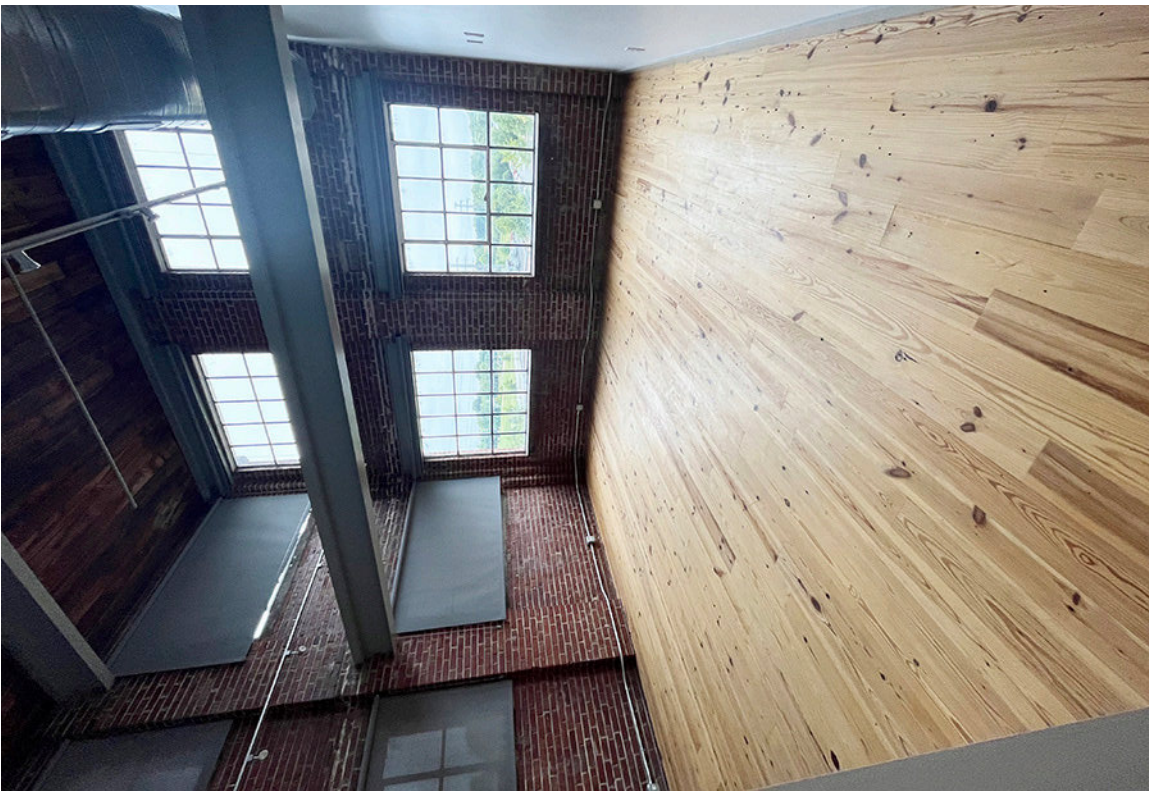


98. Mill House - Fourth Floor: Typical Townhouse unit bathroom





99. Mill House - Fourth Floor: Typical Townhouse unit hallway



100. Mill House - Fourth Floor: Typical Townhouse unit living space





101. Mill House - Fourth Floor: Typical Townhouse unit living space



102. Mill House - Fourth Floor: Typical Townhouse unit kitchen





103. Mill House - Fourth Floor: Typical Townhouse unit stair to second level



104. Mill House - Fourth Floor: Second level looking down toward entry





105. Mill House - Fourth Floor: Second level hall to bedroom



106. Mill House - Fourth Floor: Second level





107. Mill House - Fourth Floor: Second level bedroom looking South West



108. Mill House - Fourth Floor: Second level bedroom looking South East





109. Mill House - Fourth Floor: Second level master bathroom

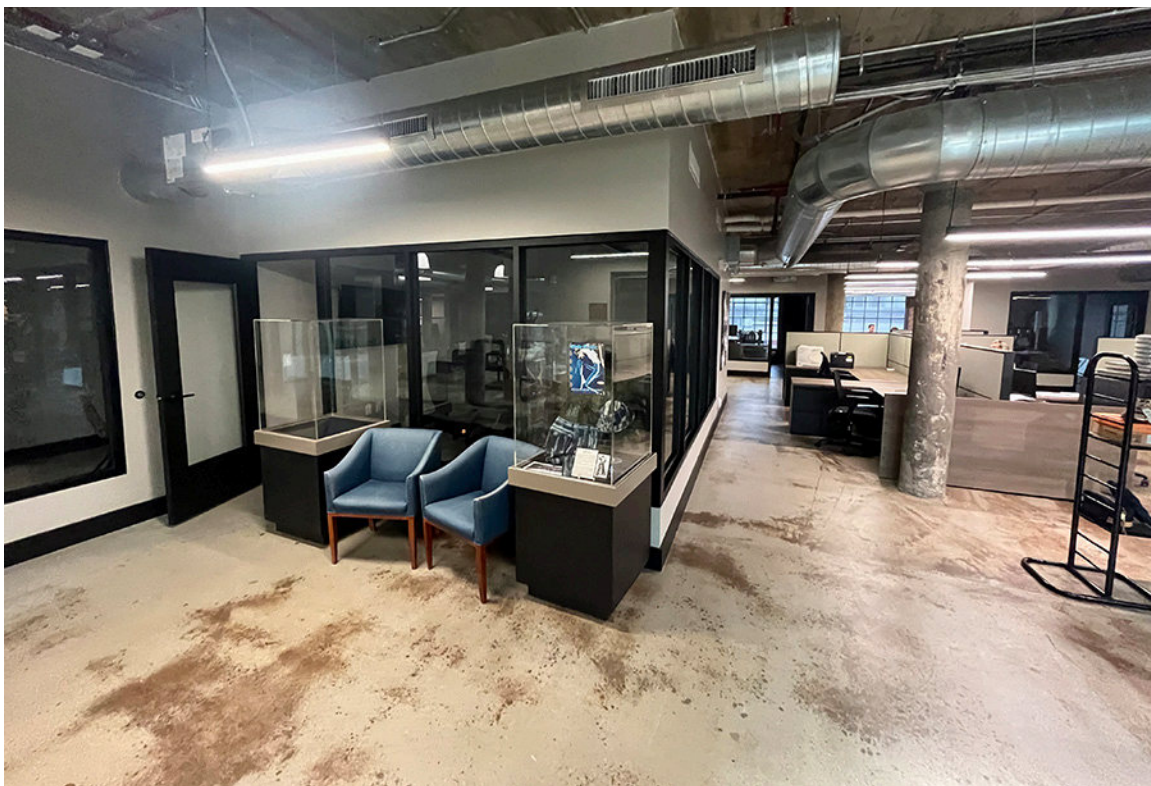


110. Mill House - Fourth Floor: Second level master bathroom



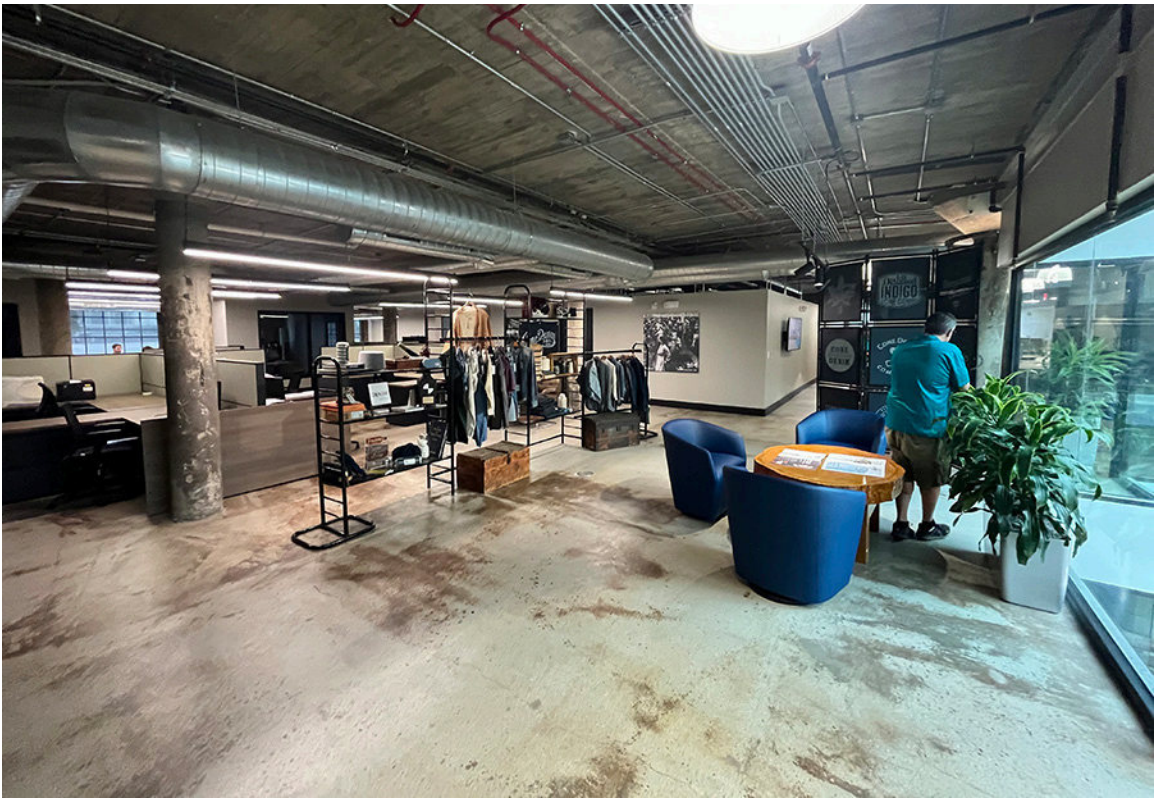


111. Mill House: Fifth floor, Elevate Textiles commercial tenant space: Lobby looking West

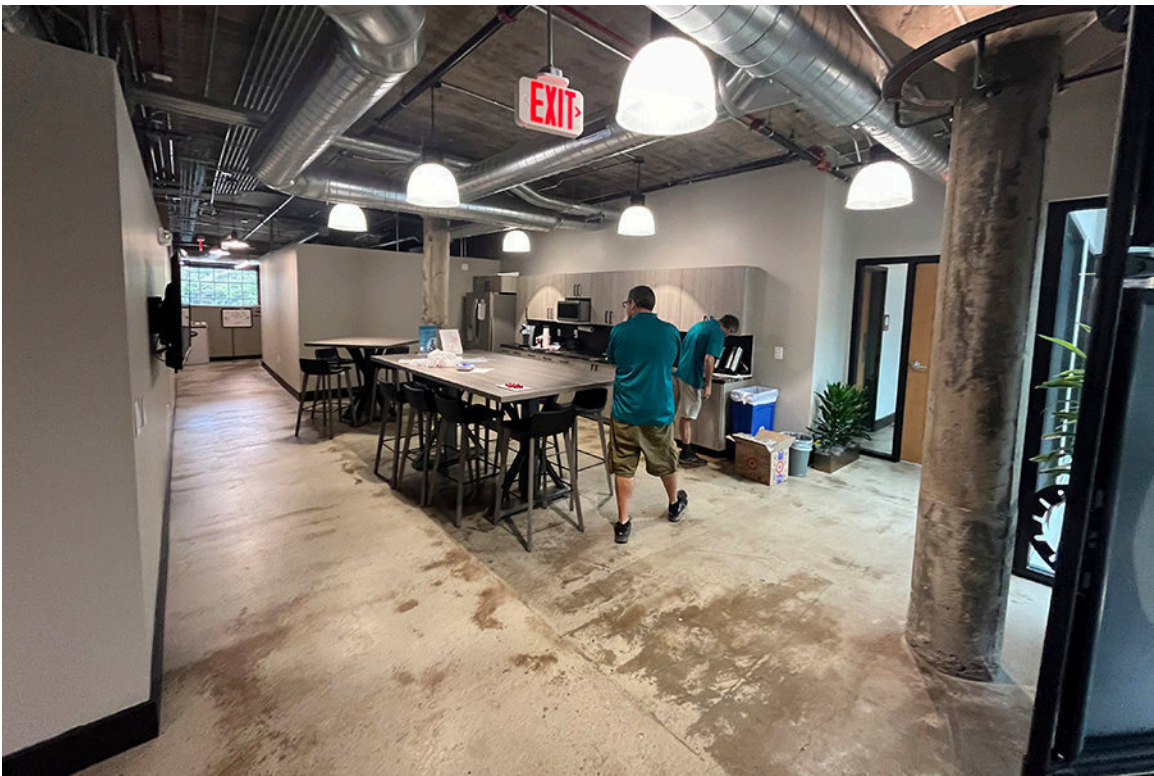


112. Mill House - Fifth Floor, Elevate Textiles commercial tenant space: Lobby looking East



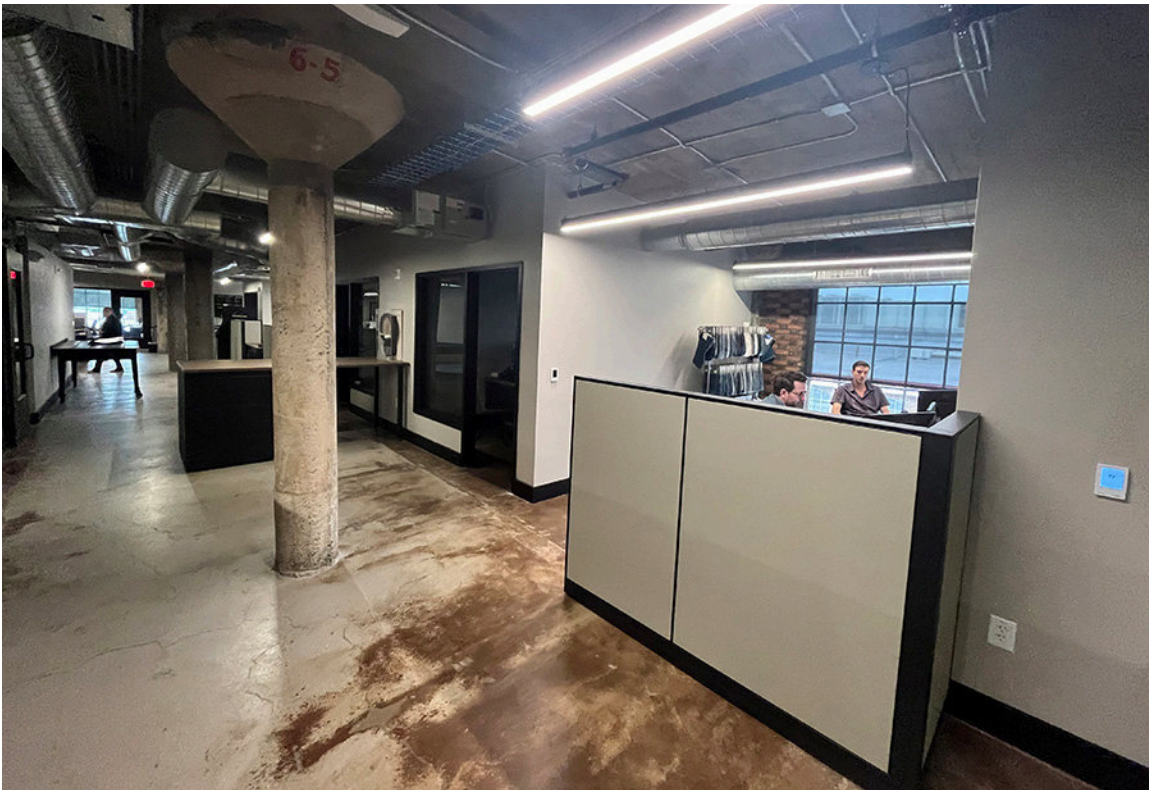


113. Mill House - Fifth Floor, Elevate Textiles commercial tenant space: Lobby looking East

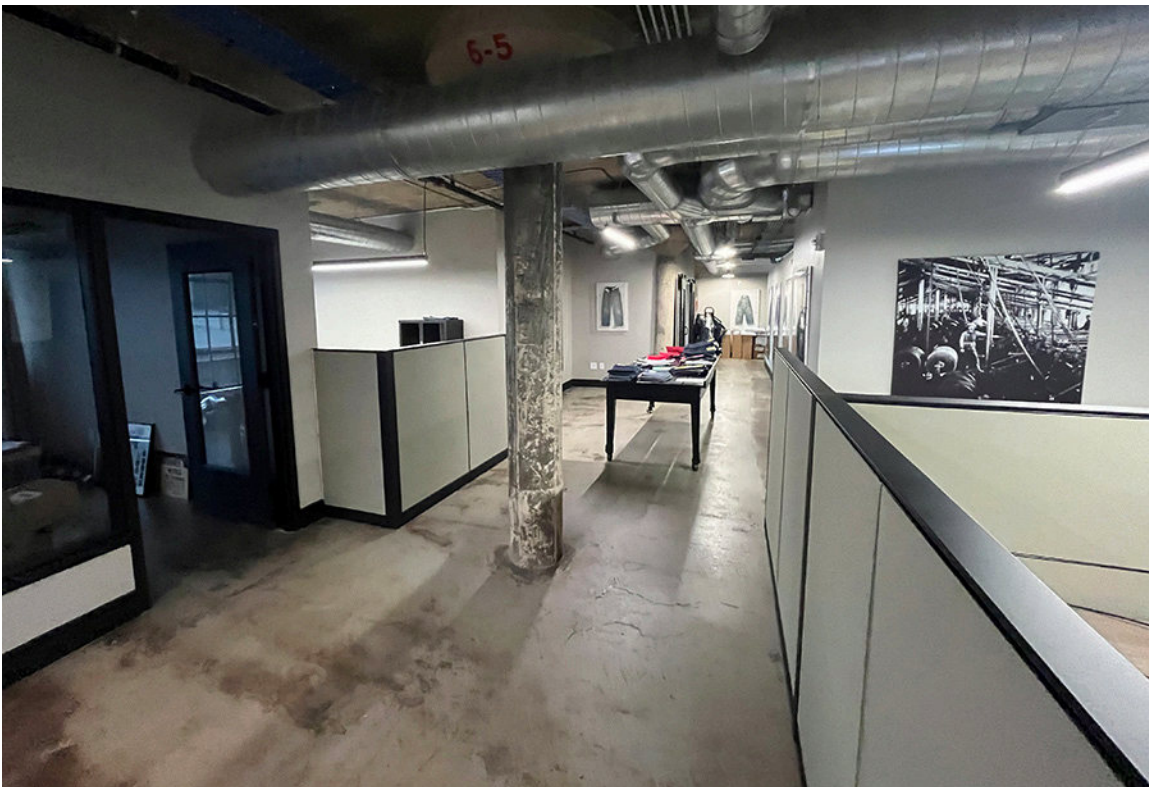


114. Mill House - Fifth Floor, Elevate Textiles commercial tenant space: Break room



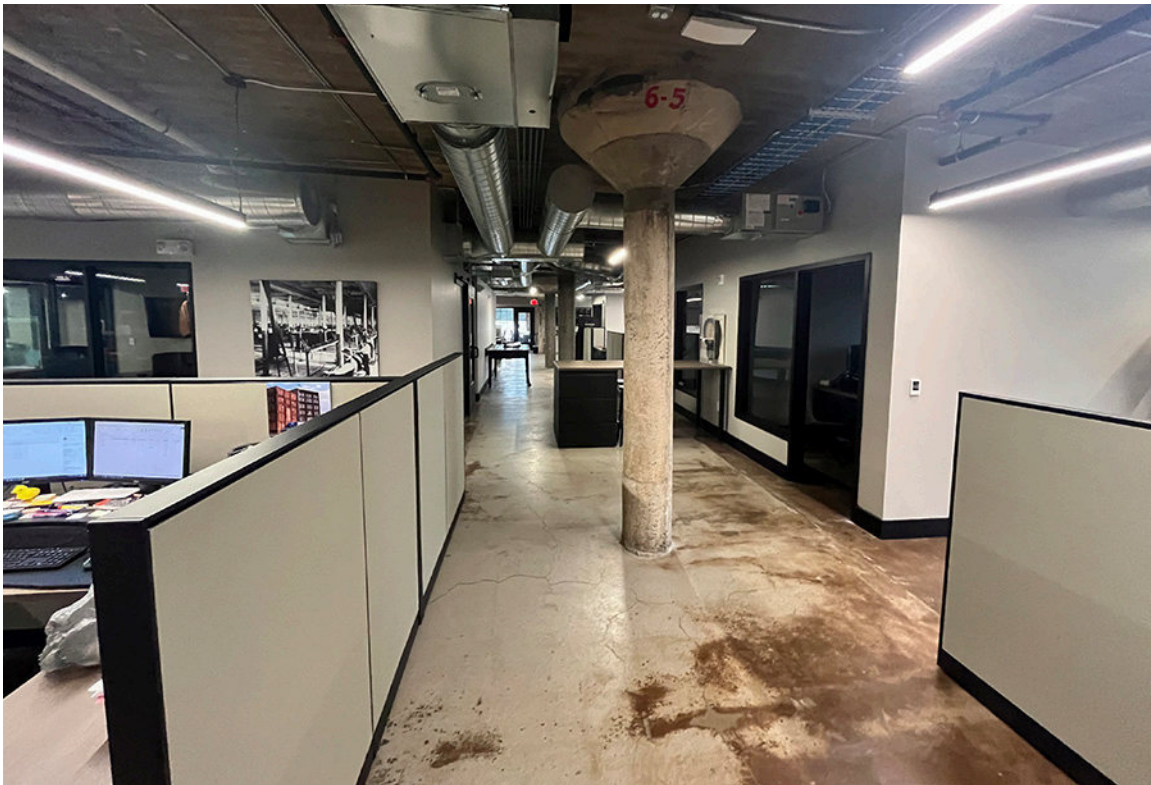


115. Mill House - Fifth Floor, Elevate Textiles commercial tenant space: Looking West

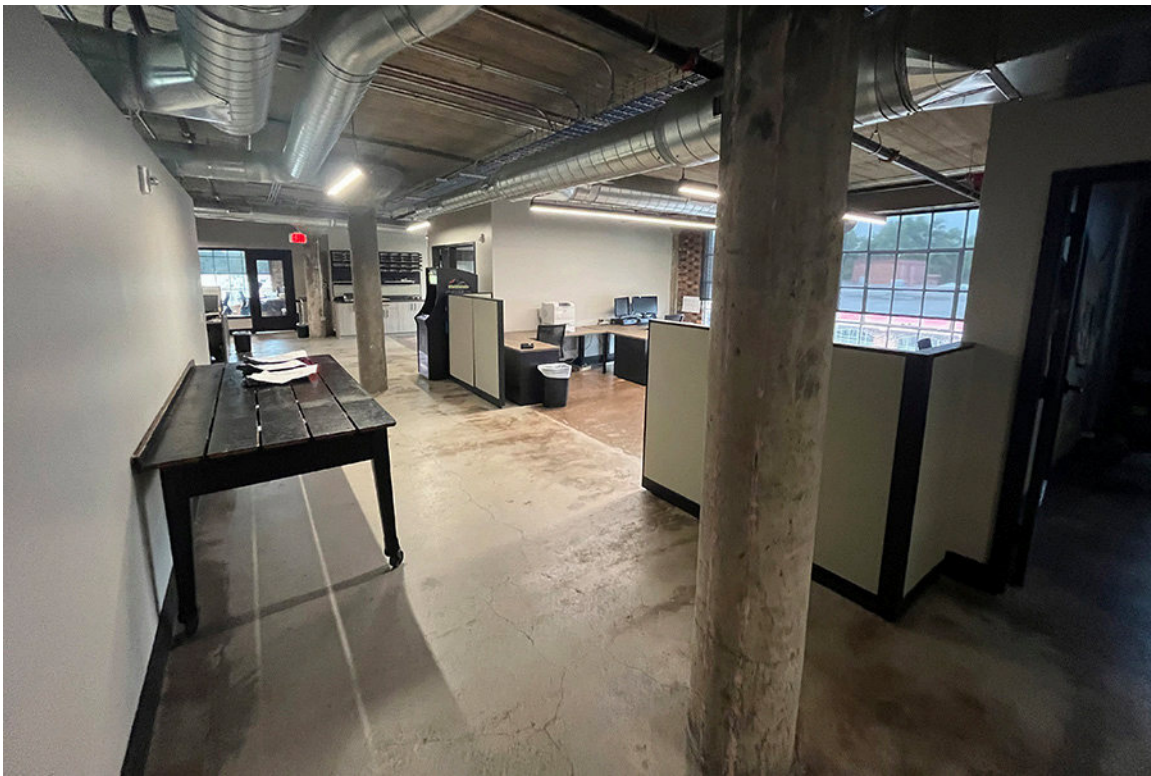


116. Mill House - Fifth Floor, Elevate Textiles commercial tenant space: Looking East



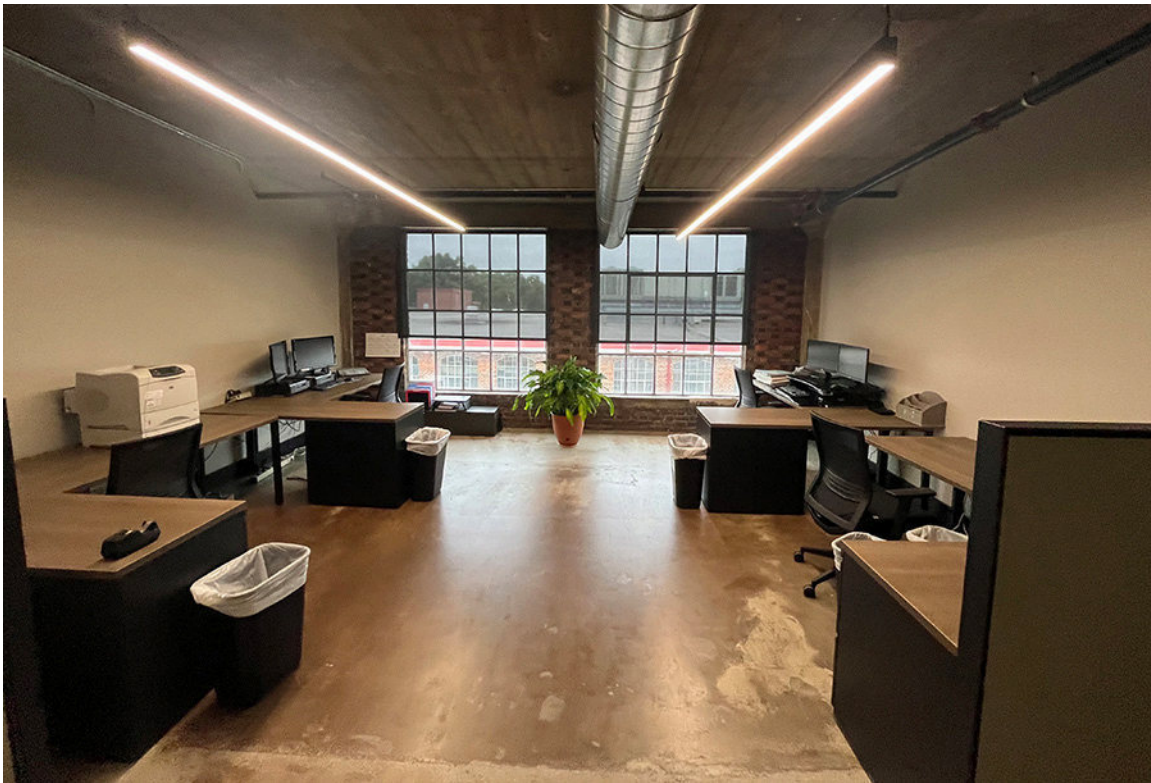


117. Mill House - Fifth Floor, Elevate Textiles commercial tenant space: Looking West

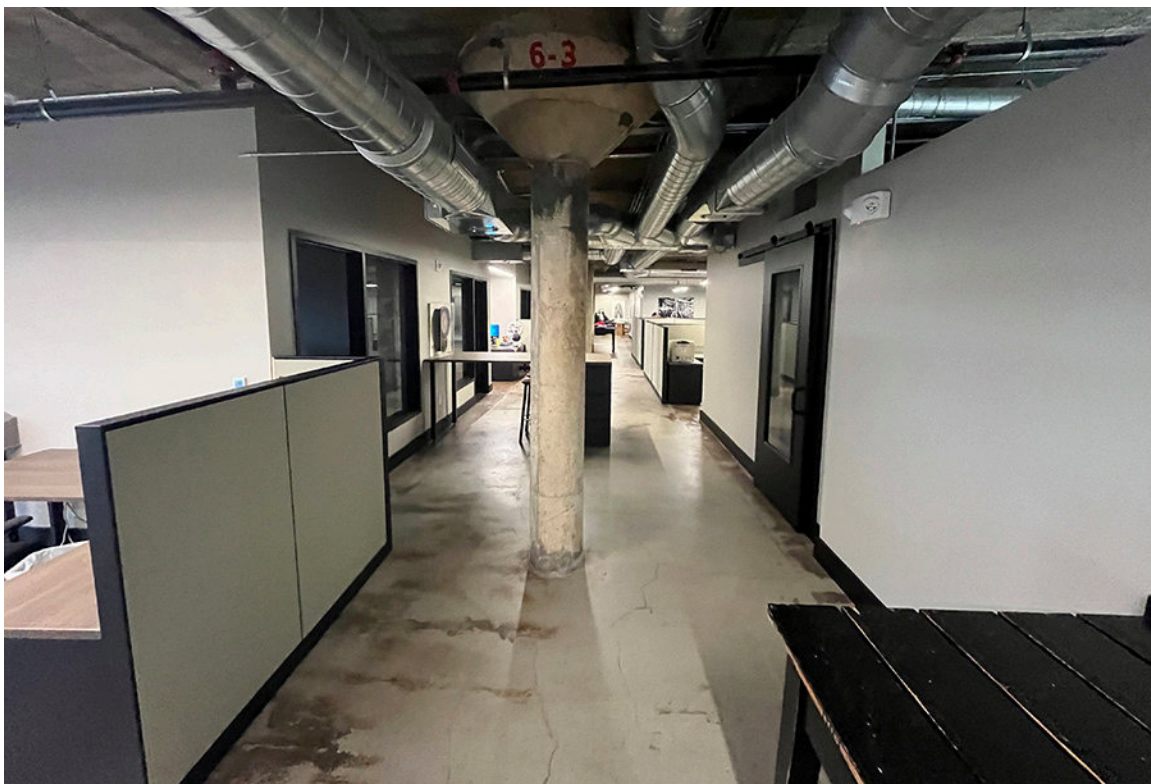


118. Mill House - Fifth Floor, Elevate Textiles commercial tenant space: Looking North West





119. Mill House - Fifth Floor, Elevate Textiles commercial tenant space: Looking North toward main mill

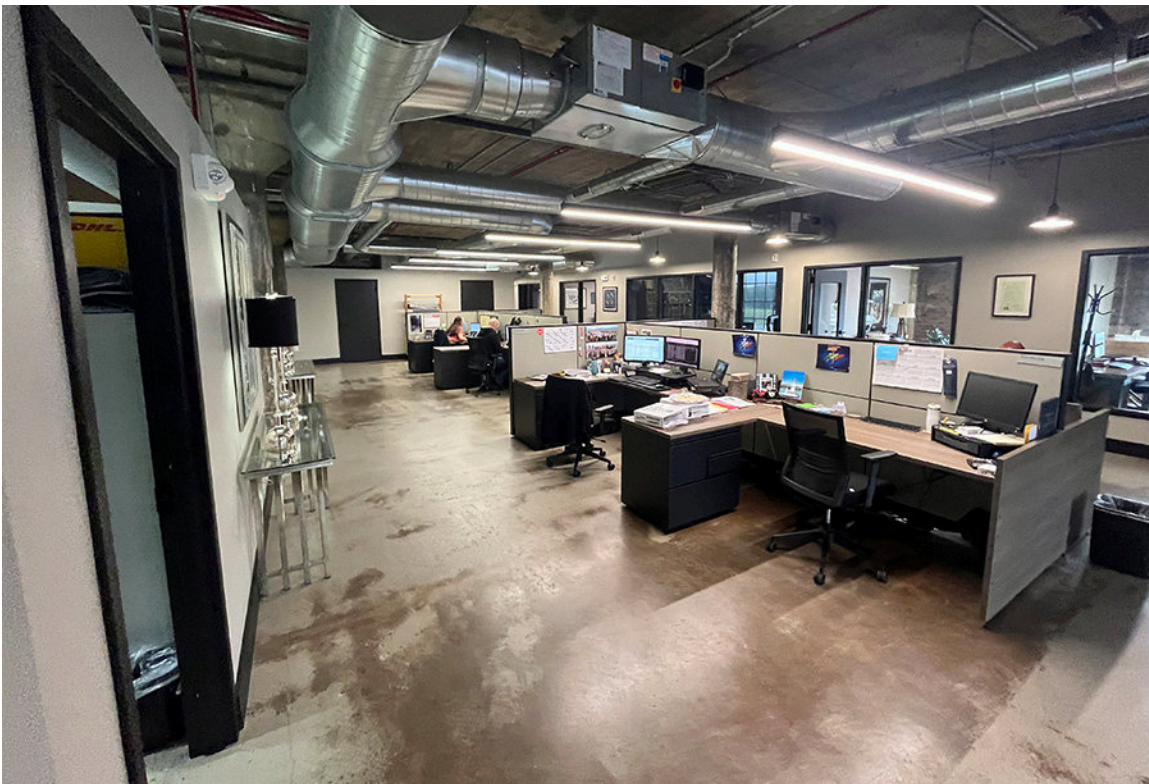


120. Mill House - Fifth Floor, Elevate Textiles commercial tenant space: Looking East



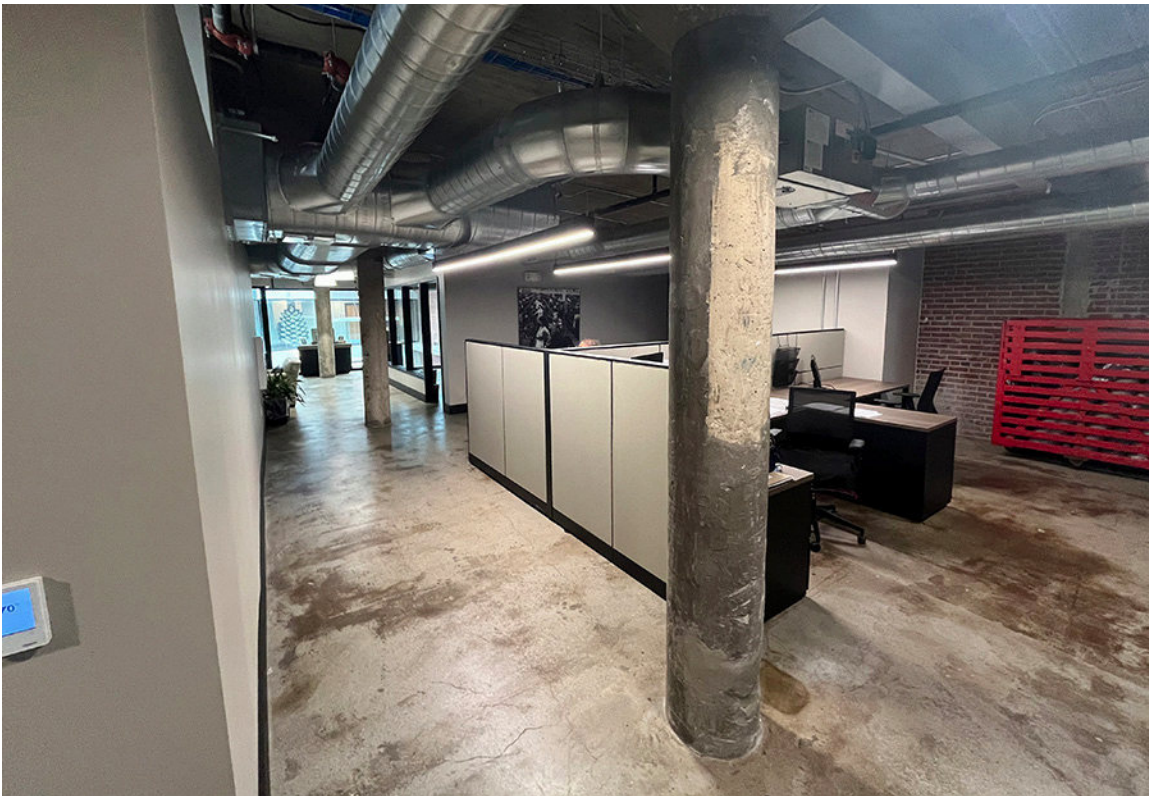


121. Mill House - Fifth Floor, Elevate Textiles commercial tenant space: Looking North West

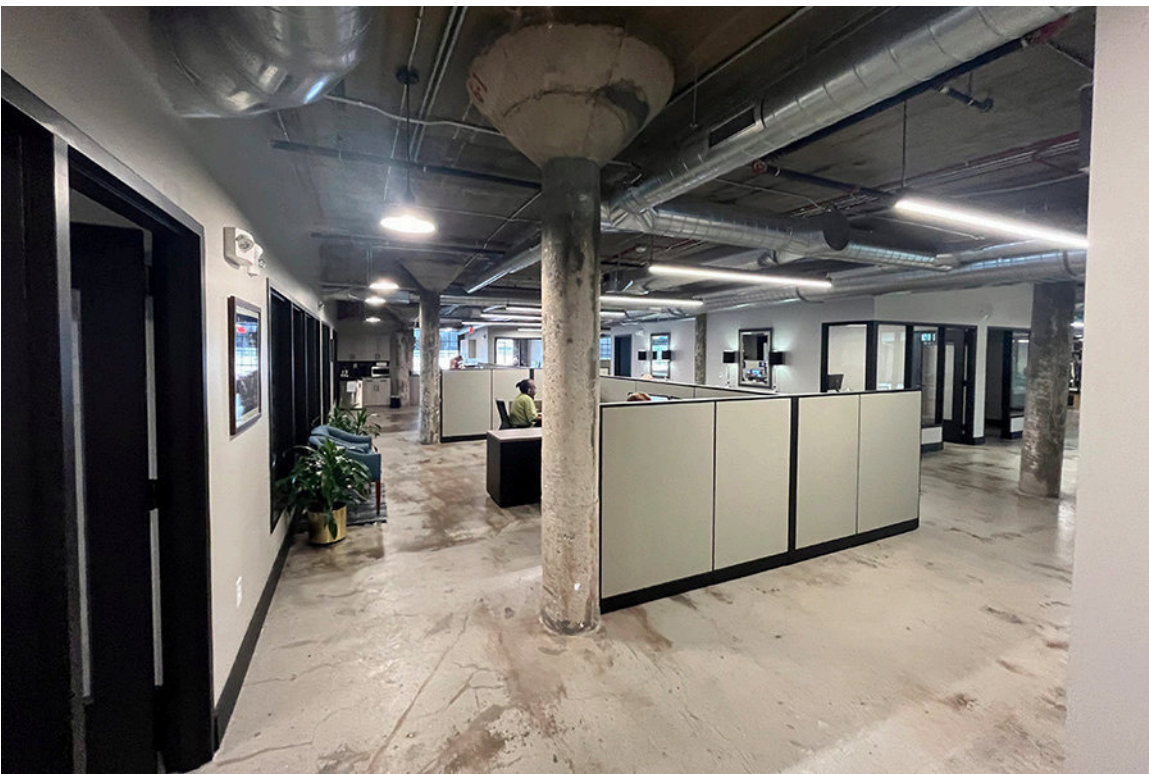


122. Mill House - Fifth Floor, Elevate Textiles commercial tenant space: looking South West



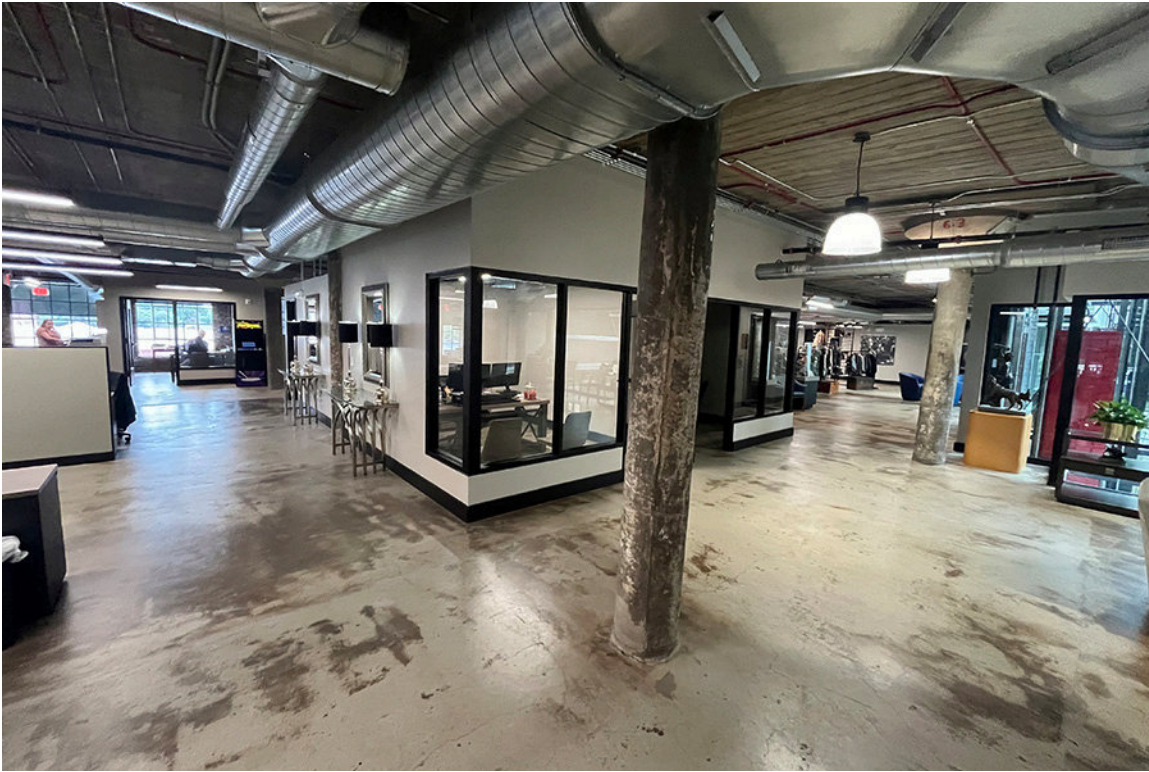


123. Mill House - Fifth Floor, Elevate Textiles commercial tenant space: Looking South East

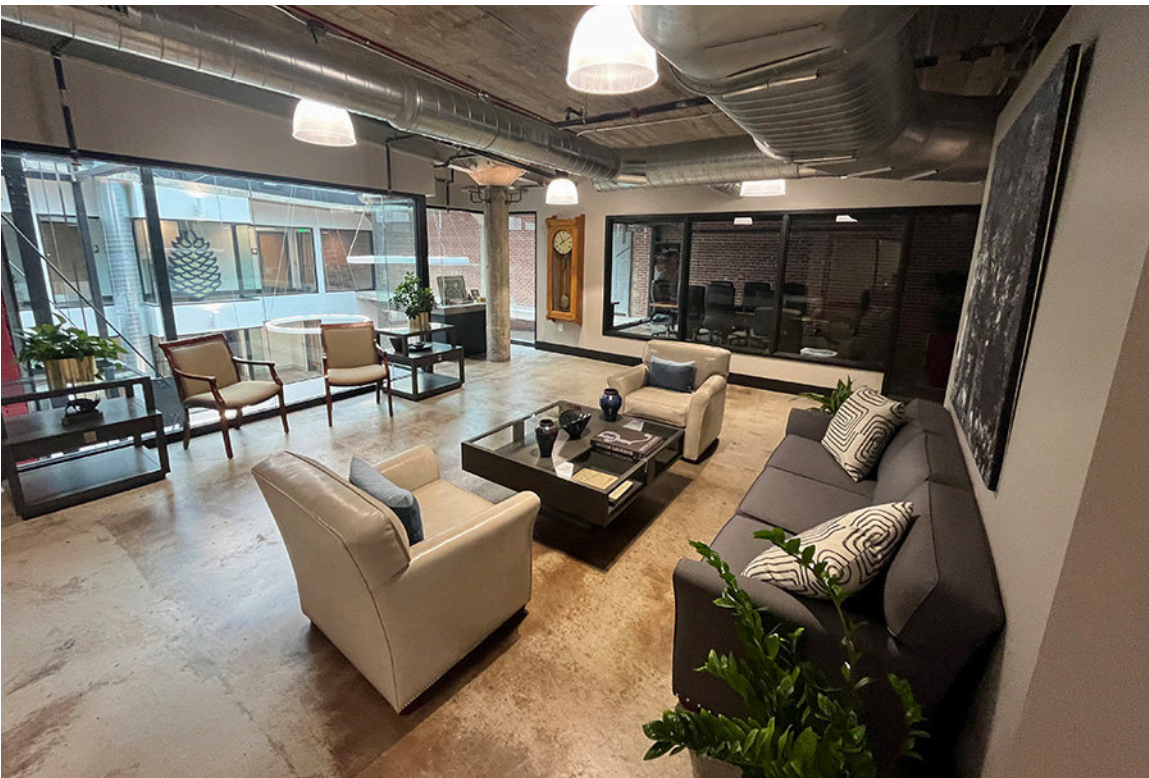


124. Mill House - Fifth Floor, Elevate Textiles commercial tenant space: Looking North East





125. Mill House - Fifth Floor, Elevate Textiles commercial tenant space: Looking North East

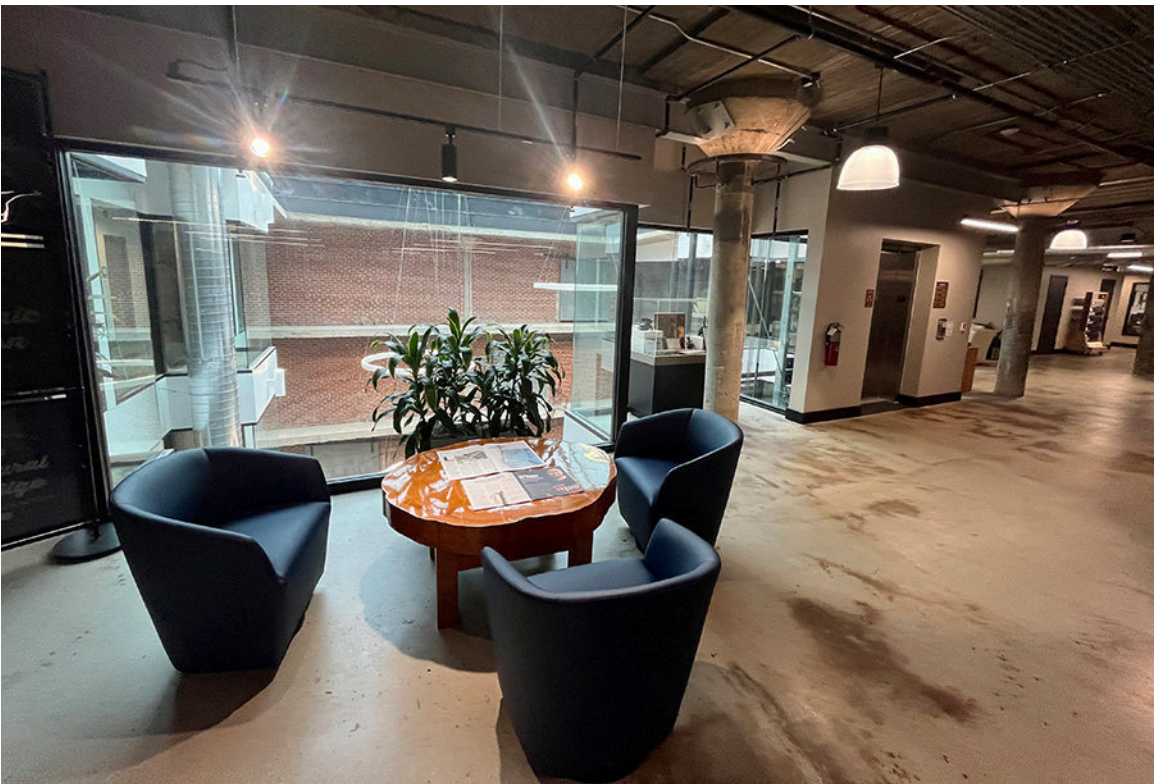


126. Mill House - Fifth Floor, Elevate Textiles commercial tenant space: Looking South East





127. Mill House - Fifth Floor, Elevate Textiles commercial tenant space: Looking North East



128. Mill House - Fifth Floor, Elevate Textiles commercial tenant space: Looking toward elevator and skylight atrium



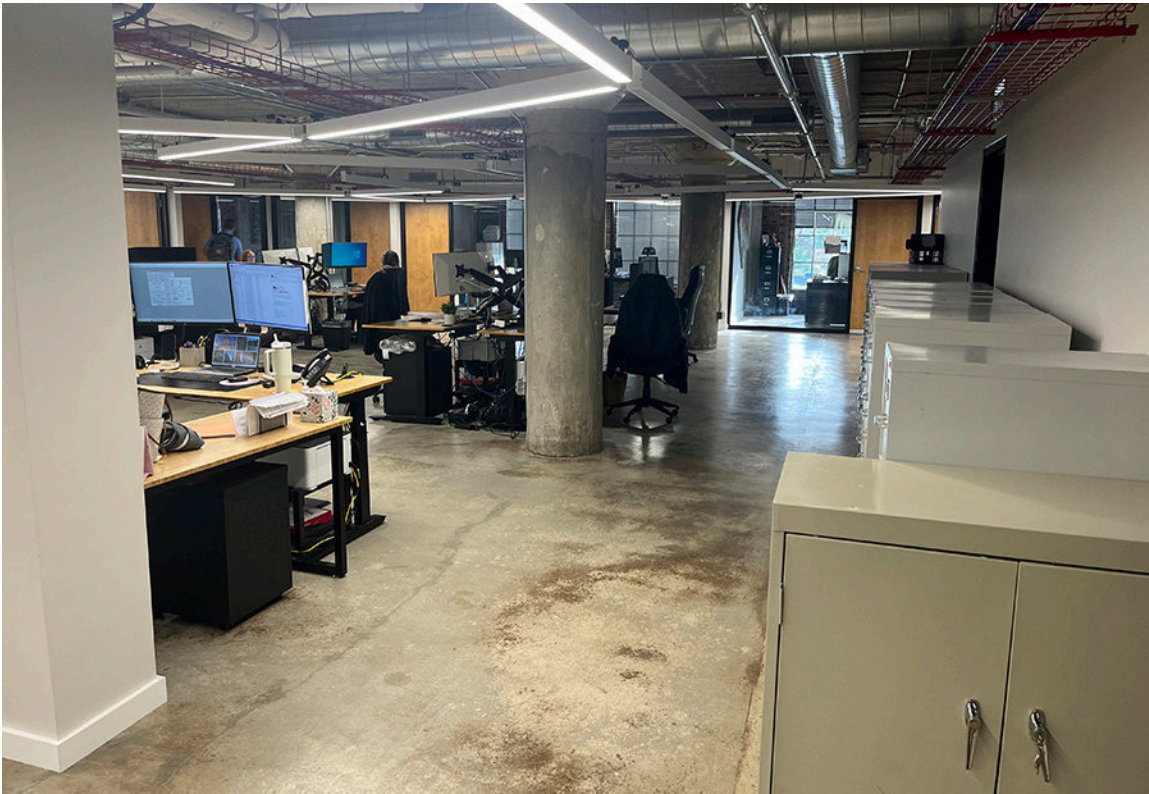


1. Mill House: Second floor, City Electric Supply entry

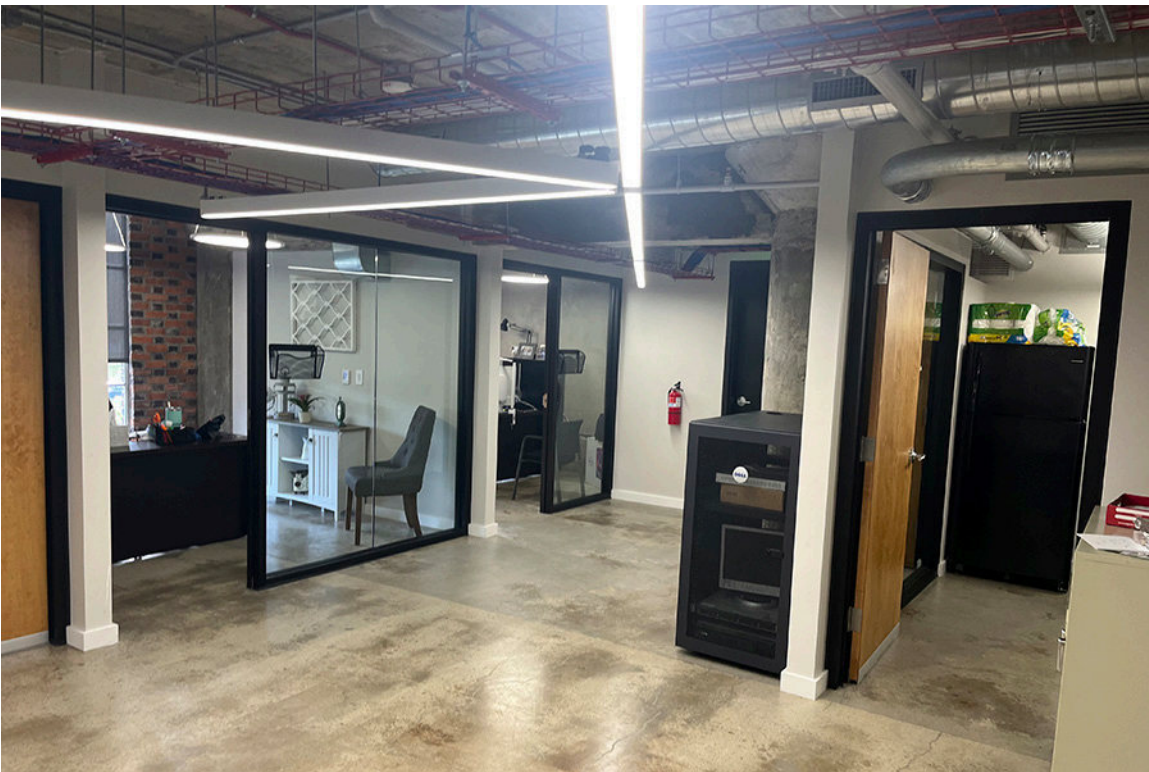


2. Mill House: Second floor, City Electric Supply - Looking West



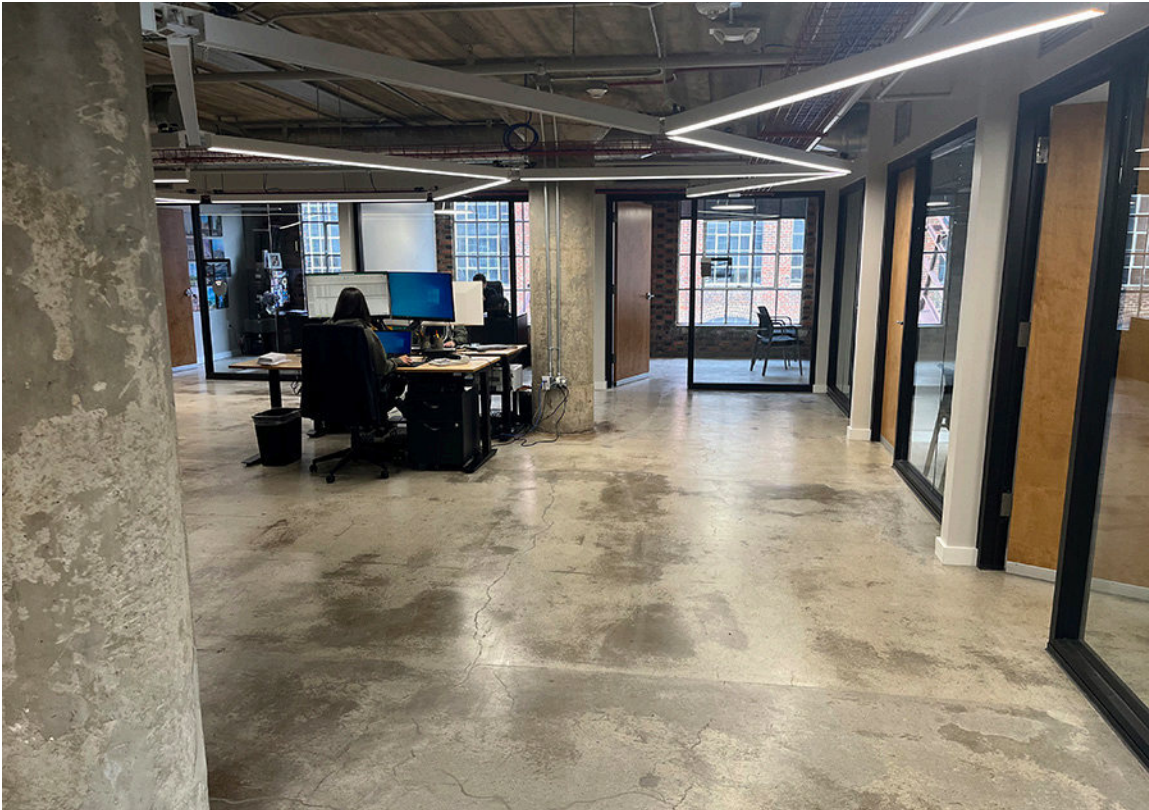


3. Mill House: Second floor, City Electric Supply - Looking East

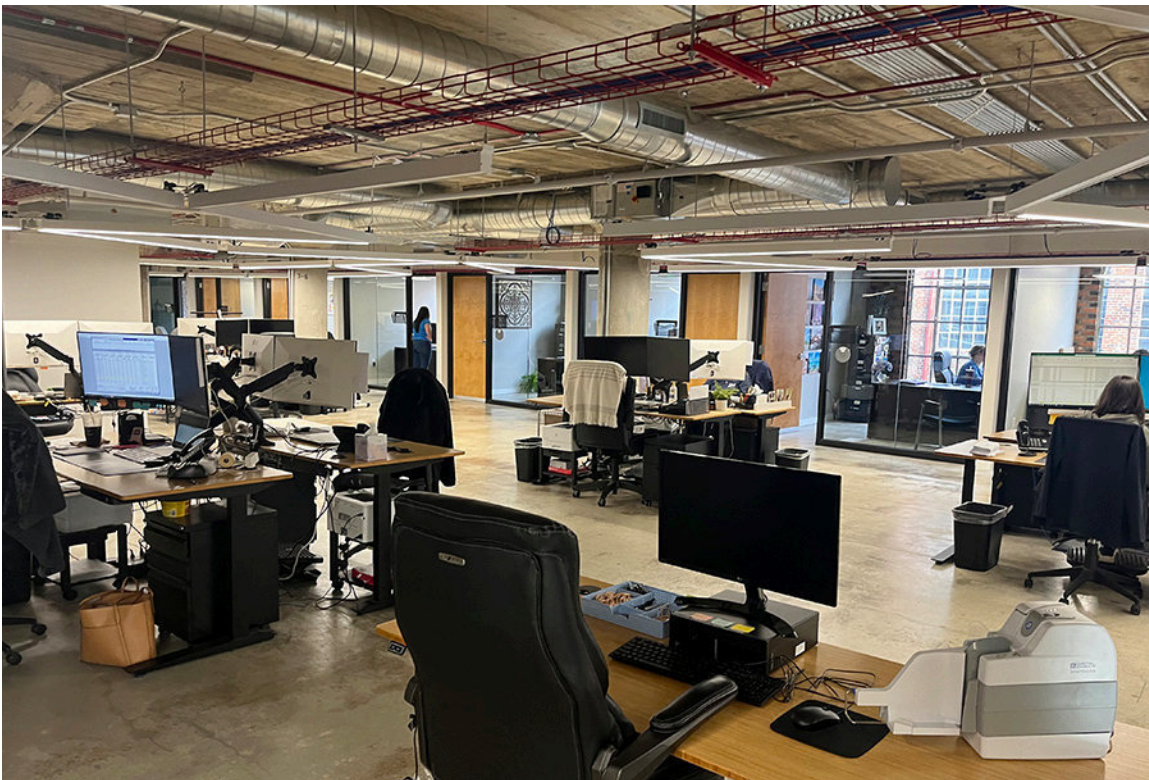


4. Mill House: Second floor, City Electric Supply - Looking South East



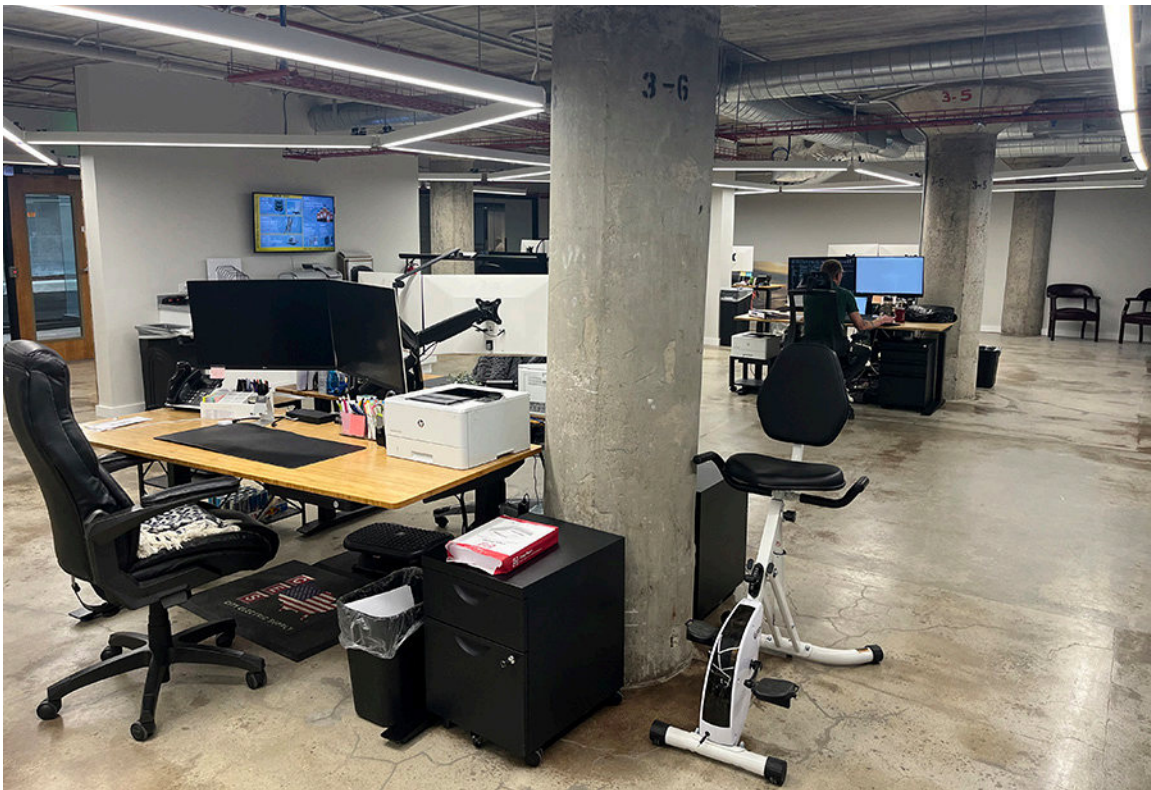


5. Mill House: Second floor, City Electric Supply - Looking North

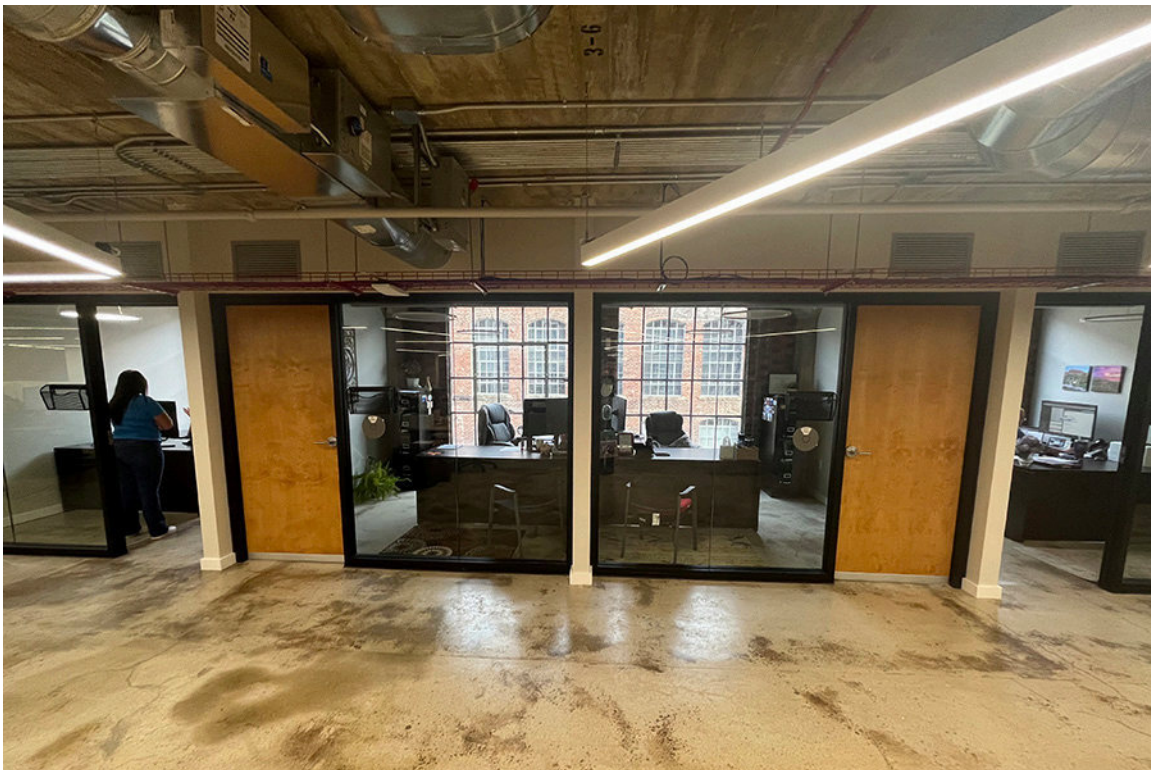


6. Mill House: Second floor, City Electric Supply - Looking North West





7. Mill House: Second floor, City Electric Supply - Looking South West

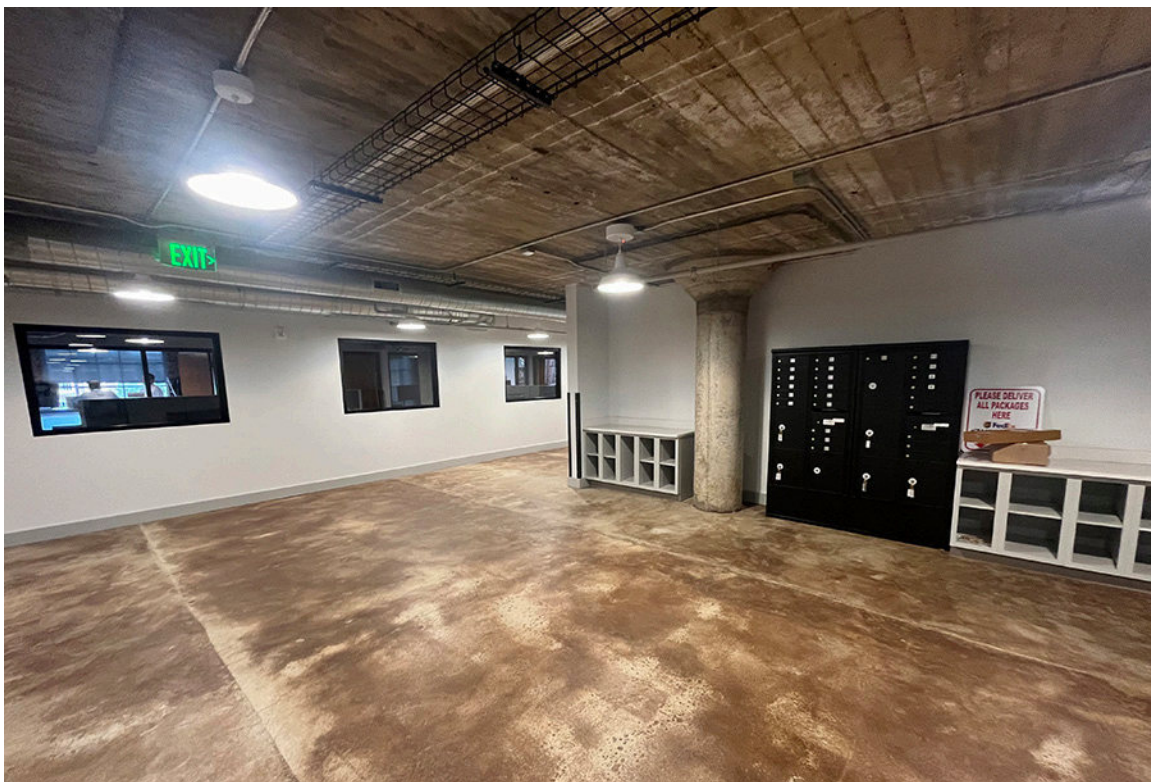


8. Mill House: Second floor, City Electric Supply - Looking North





9. Mill House: Second floor common corridor - Looking West



10. Mill House: Second floor common corridor - Looking North West



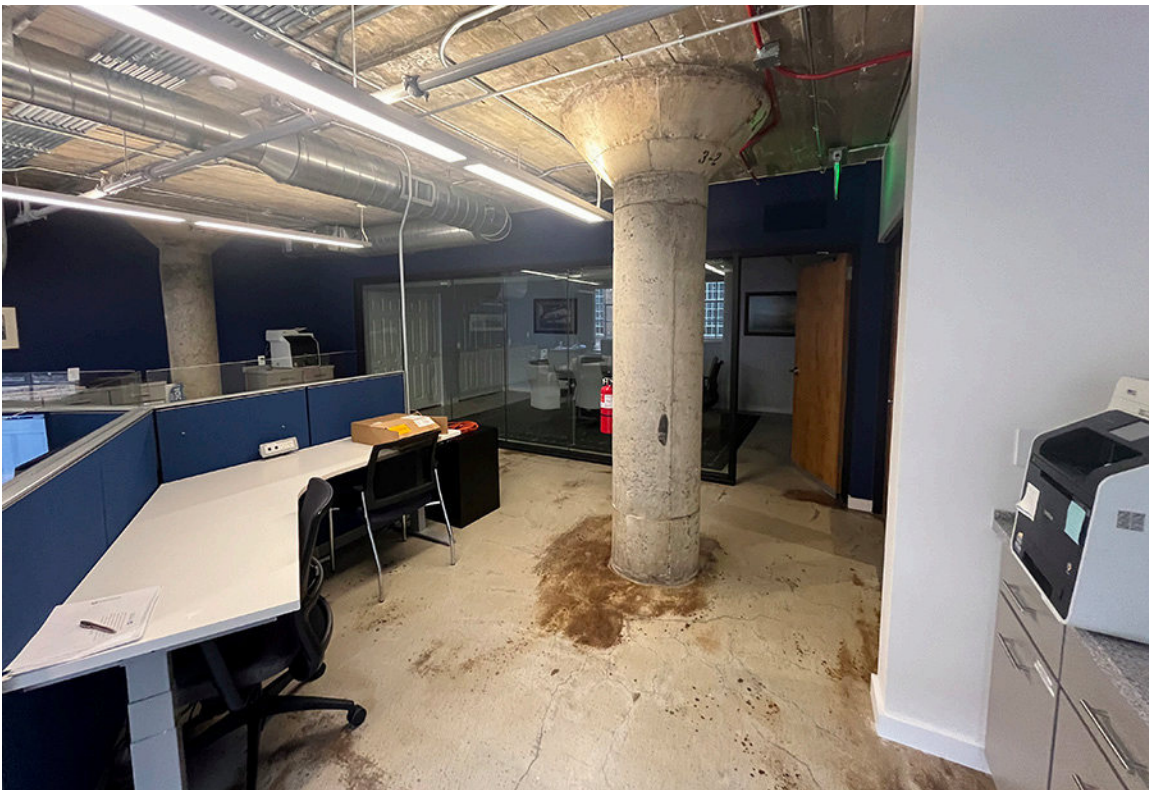


11. Mill House: Second floor common corridor - Looking North

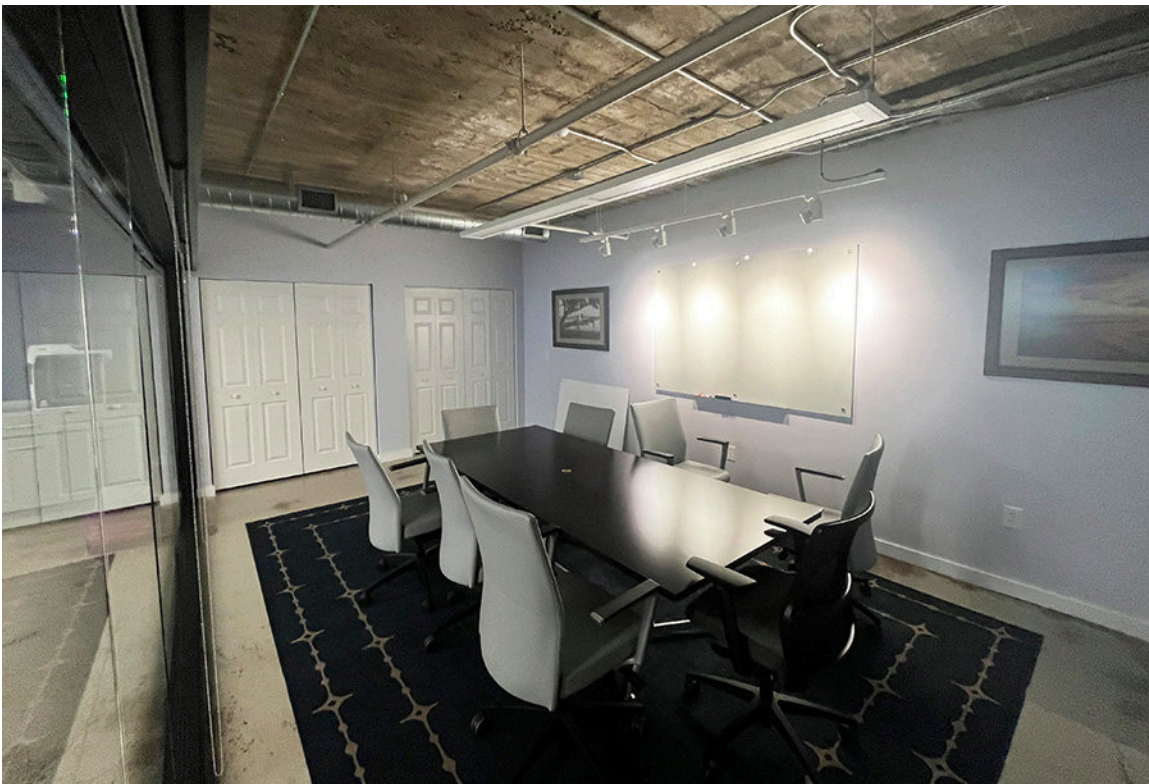


12. Mill House: Second floor common corridor looking at Shamrock entry



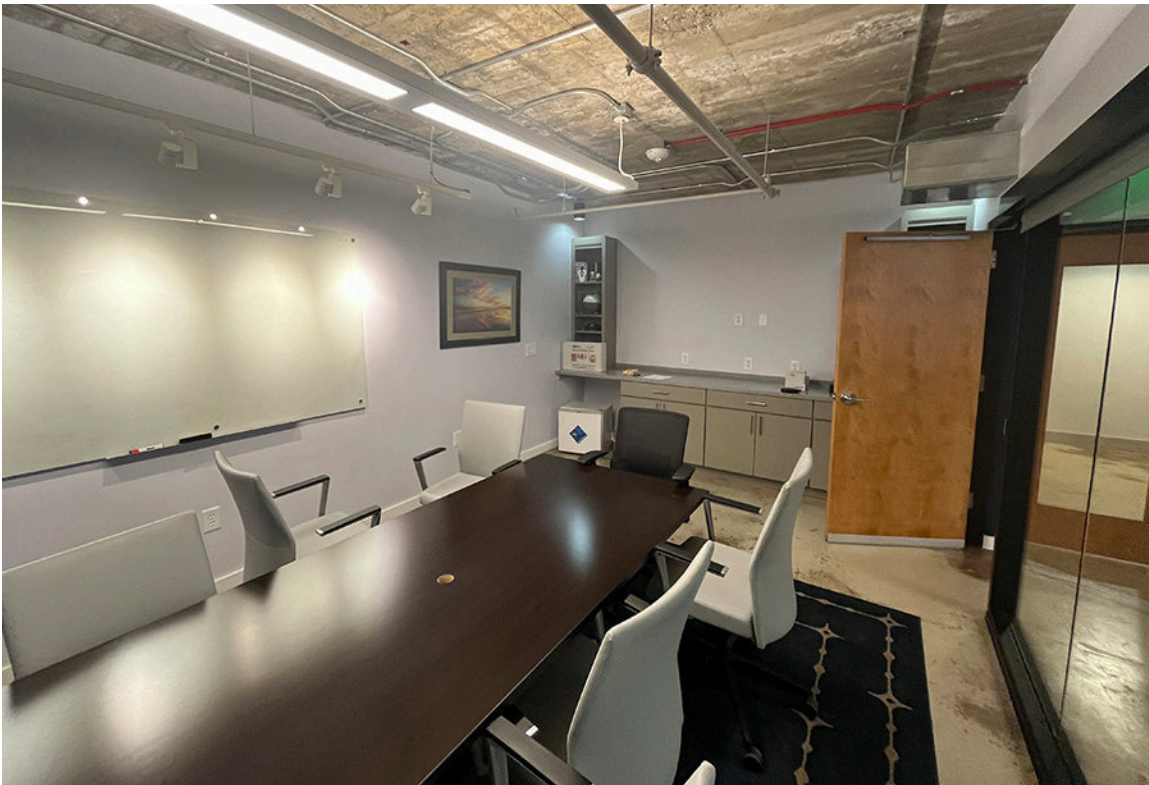


13. Mill House: Second floor Shamrock - Looking North

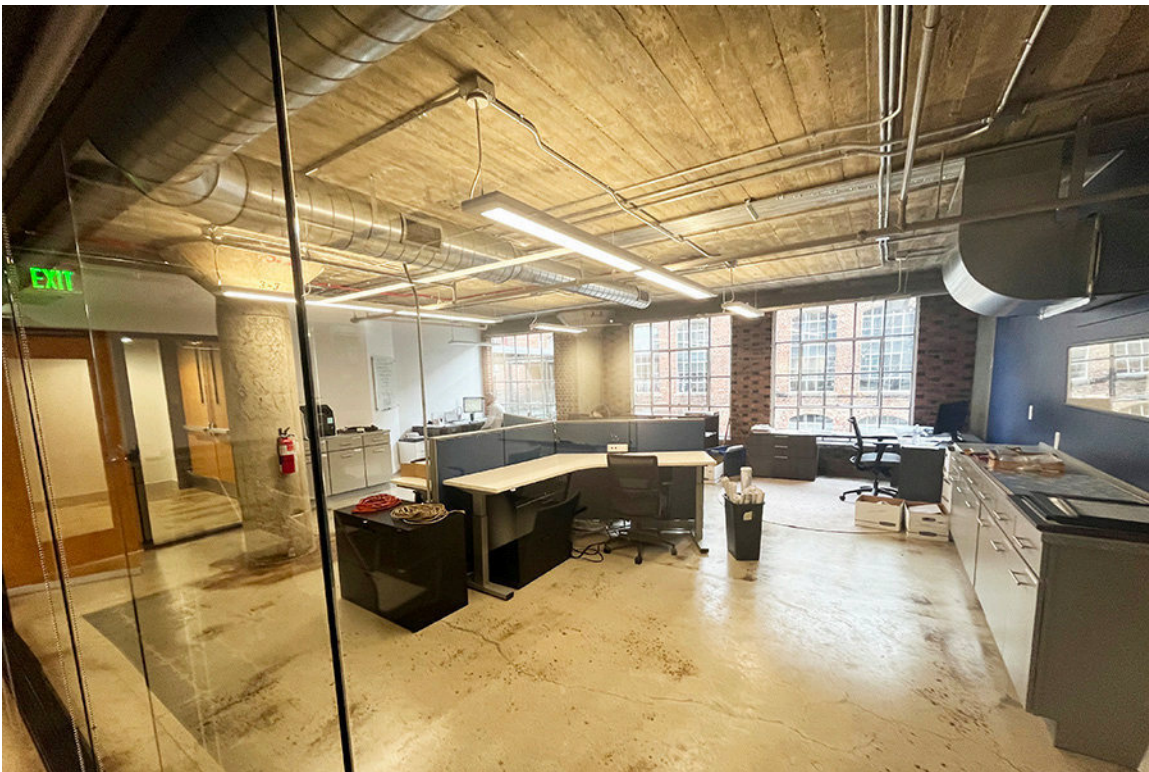


14. Mill House: Second floor Shamrock - Conference room Looking South East



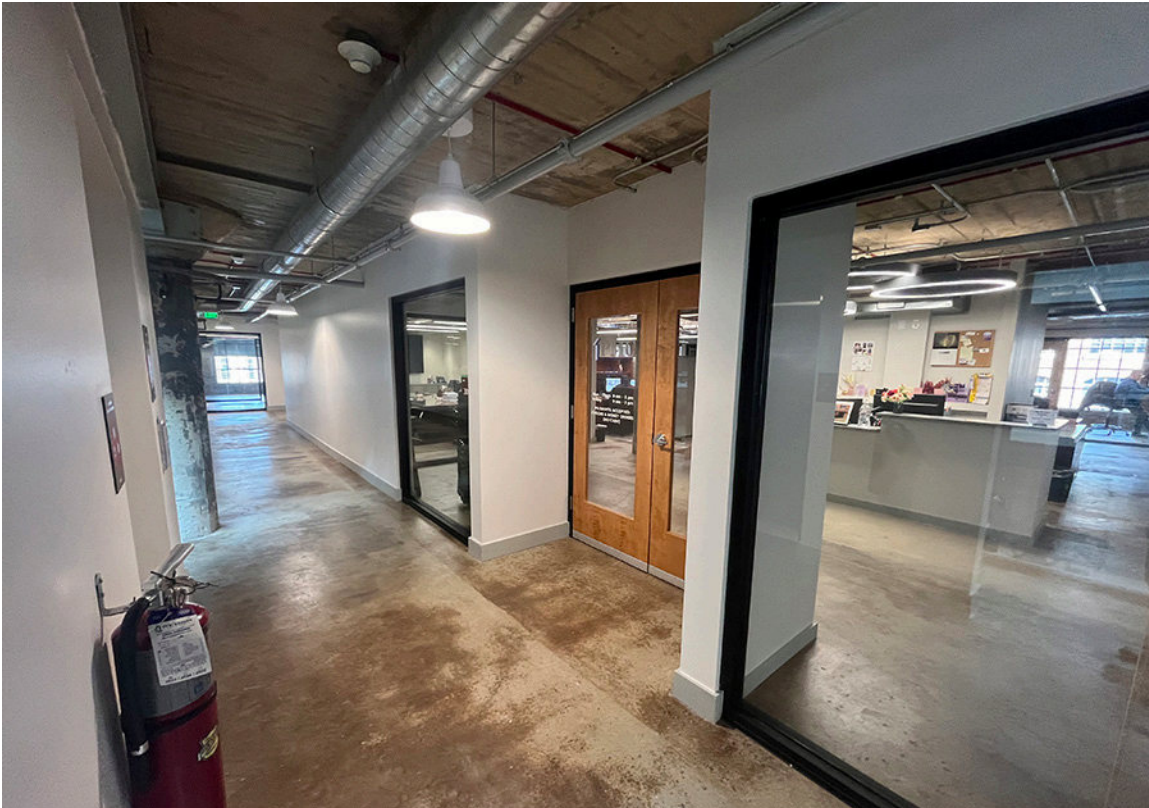


15. Mill House: Second floor Shamrock - Conference room looking South West

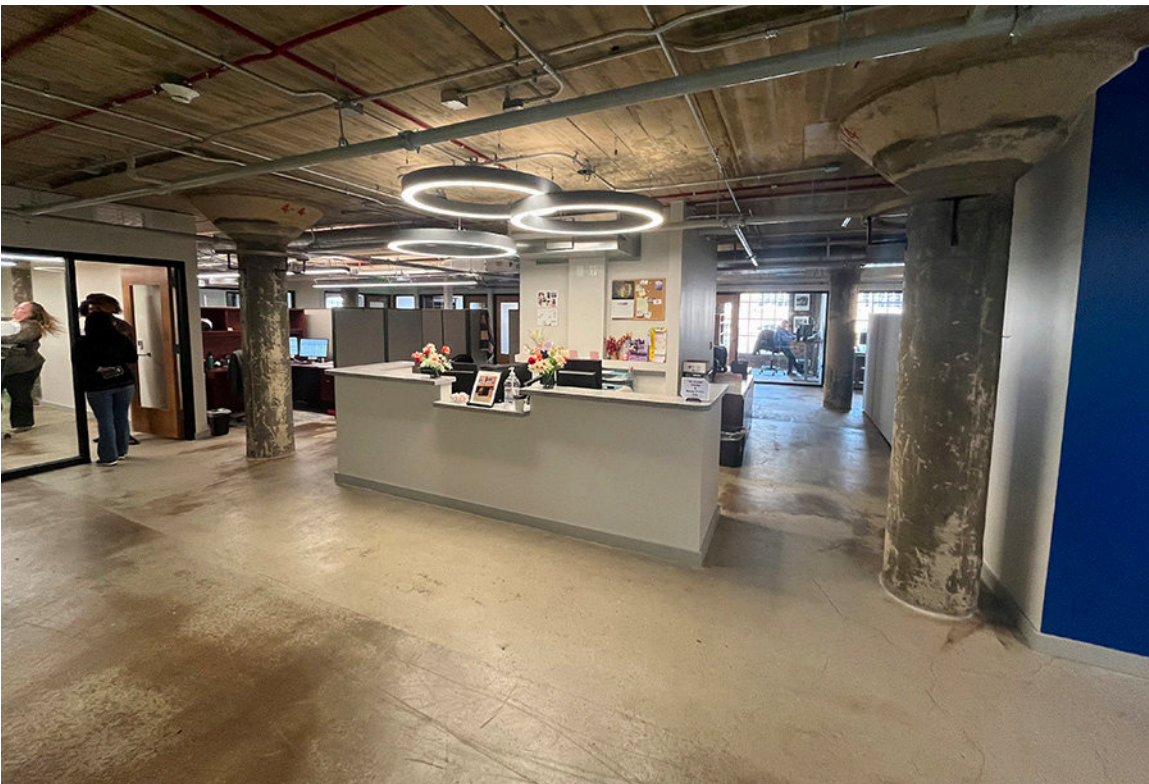


16. Mill House: Second floor Shamrock - Looking North West



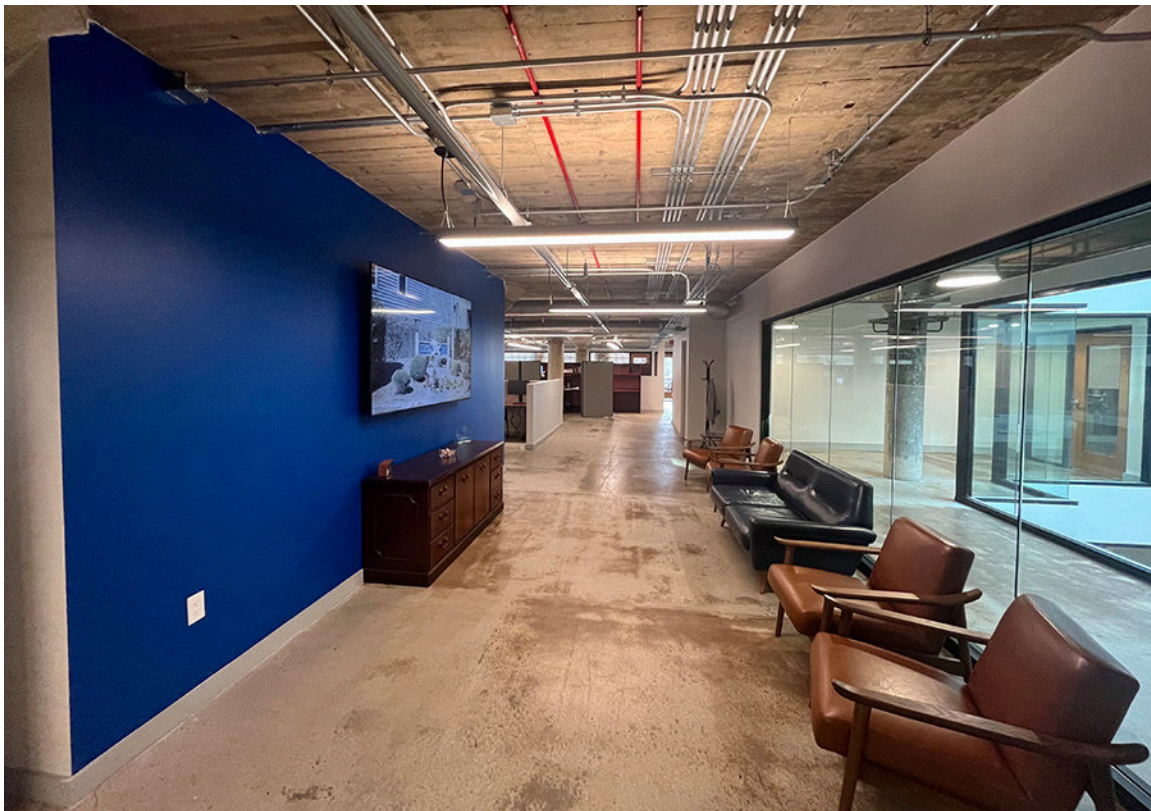


17. Mill House: Third floor Priestley Management Company entrance

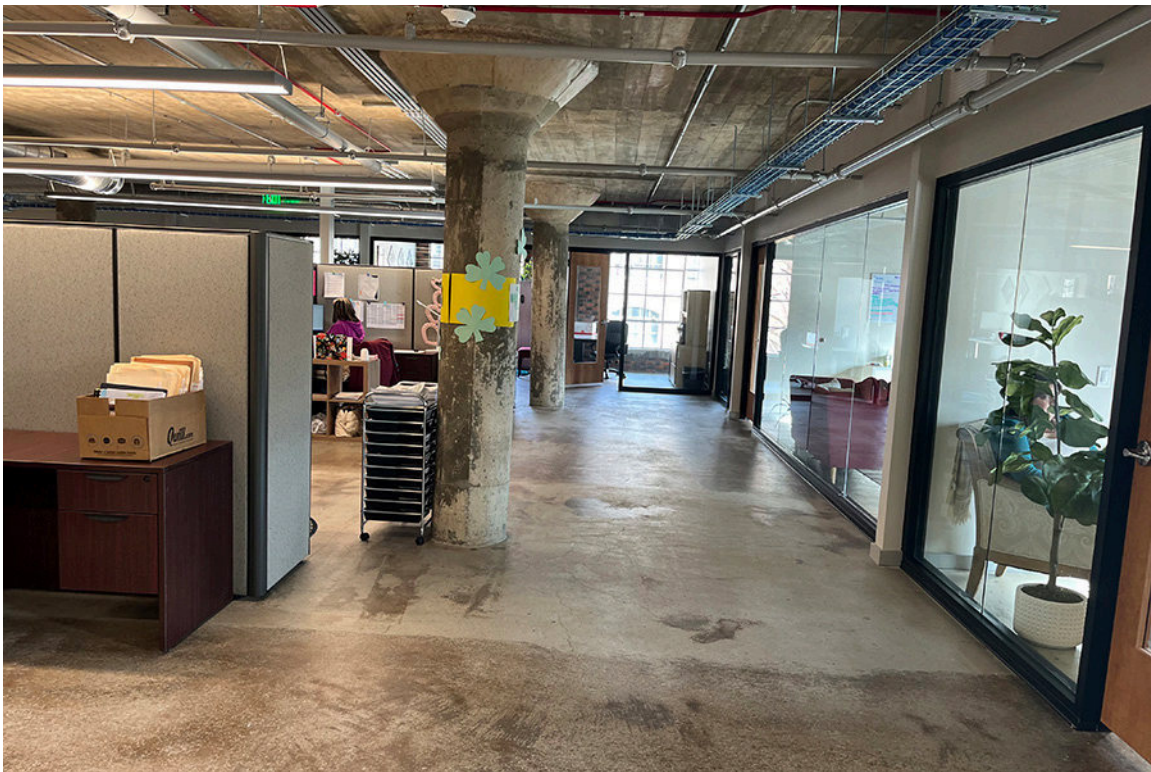


18. Mill House: Third floor Priestley Management Company - Looking North





19. Mill House: Third floor Priestley Management Company - Looking East

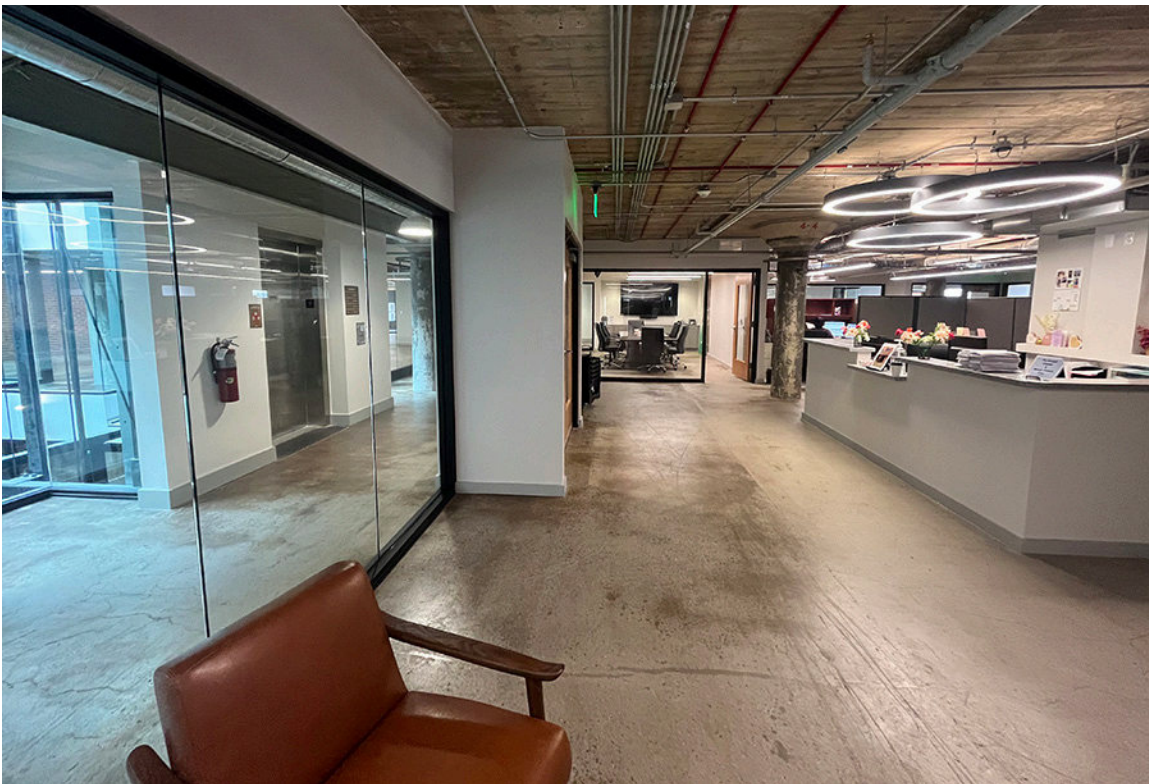


20. Mill House: Third floor Priestley Management Company - Looking North



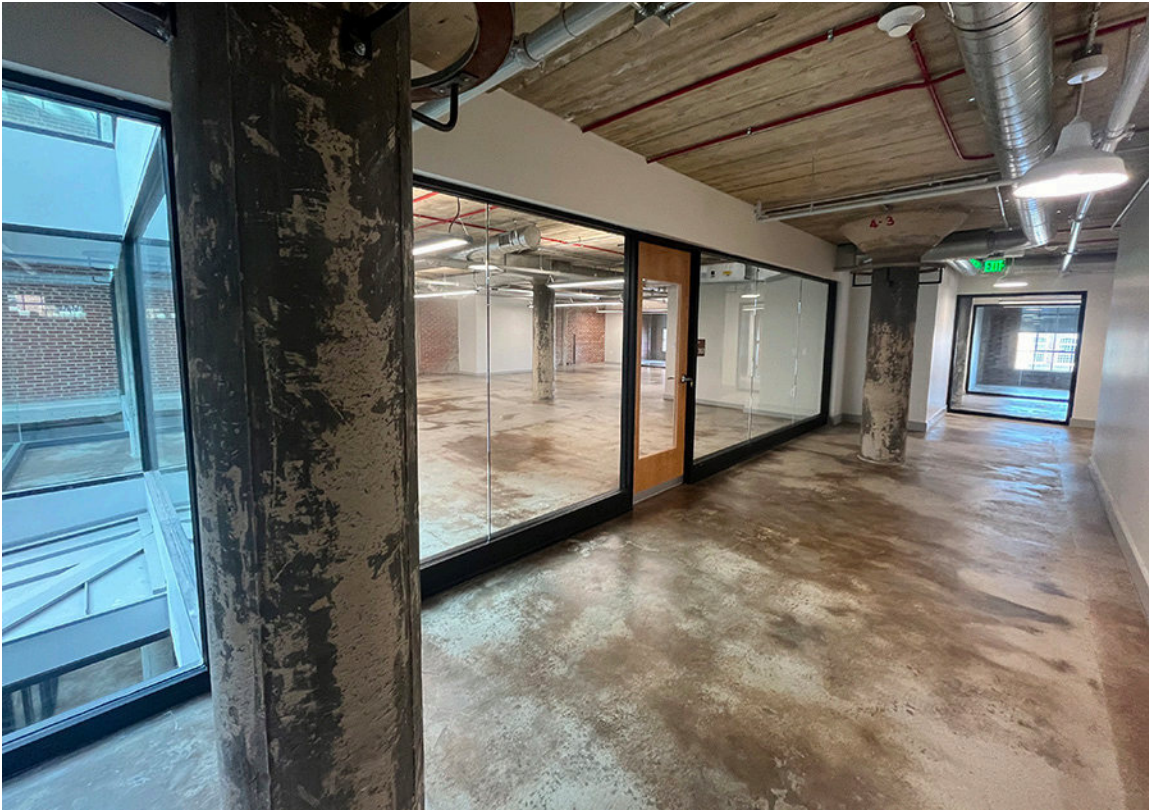


21. Mill House: Third floor Priestley Management Company - Looking West



22. Mill House: Third floor Priestley Management Company - Looking West



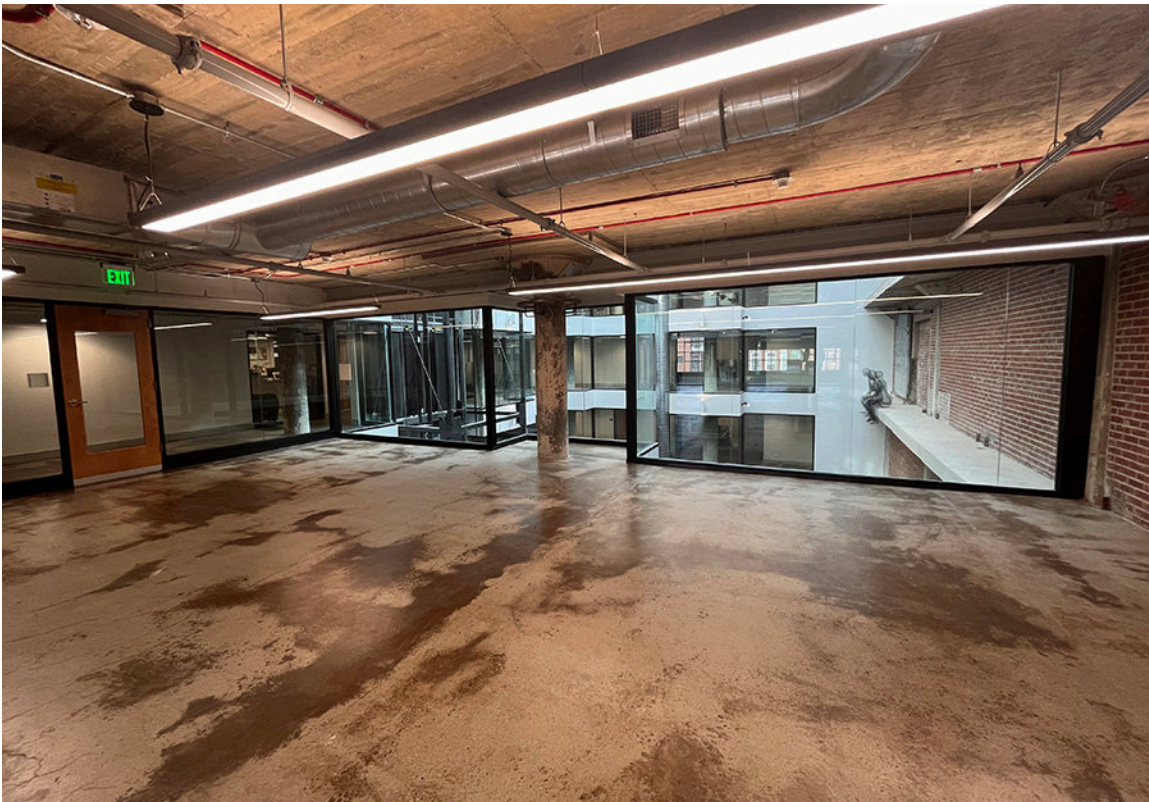


23. Mill House: Third floor corridor at Suite 302 Spec. Offices

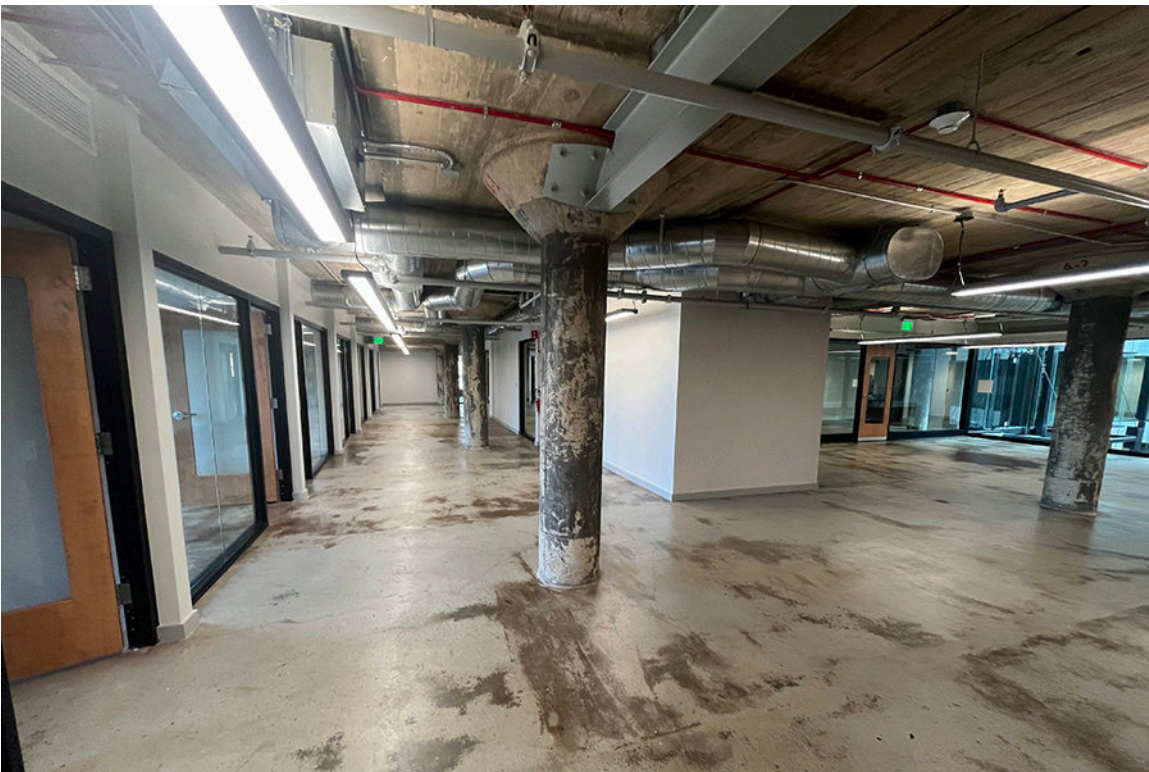


24. Mill House: Third floor Suite 302 Spec. Offices - Looking North West





25. Mill House: Third floor Suite 302 Spec. Offices - Looking East

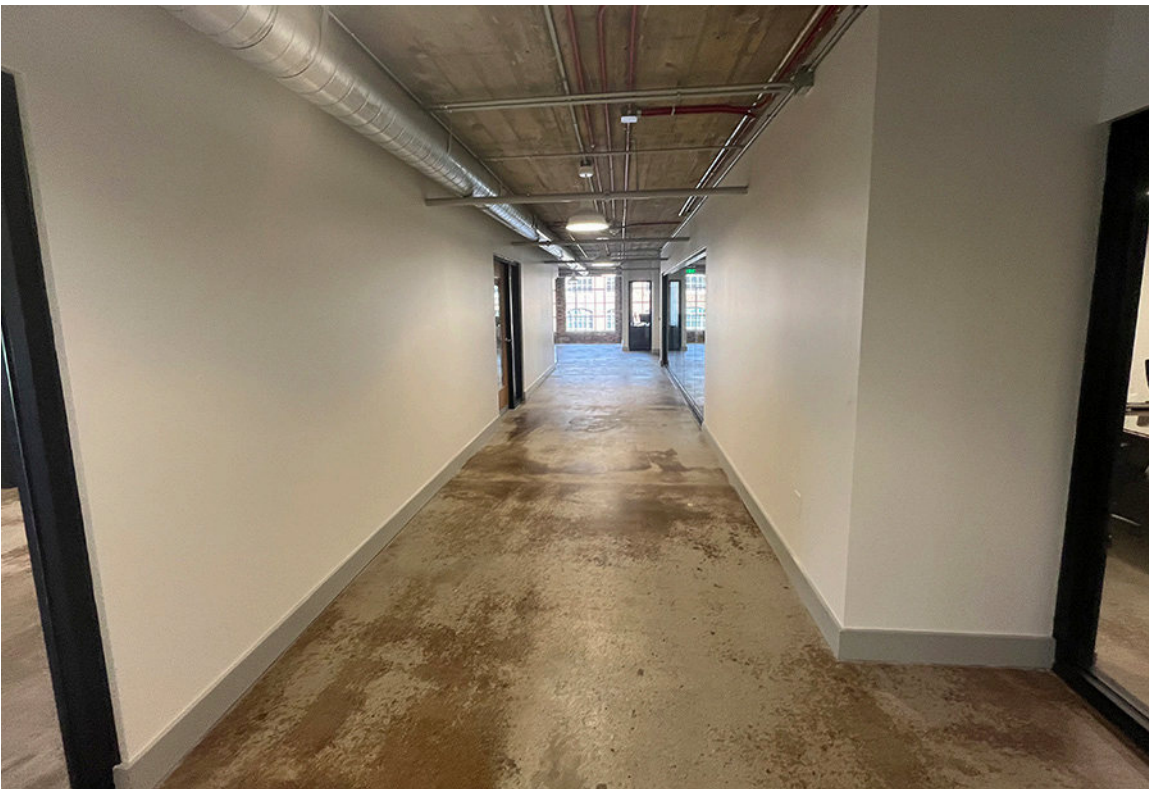


26. Mill House: Third floor Suite 302 Spec. Offices - Looking North





27. Mill House: Third floor corridor - Looking West



28. Mill House: Third floor corridor - Looking North





29. Mill House: Third floor corridor - Looking North

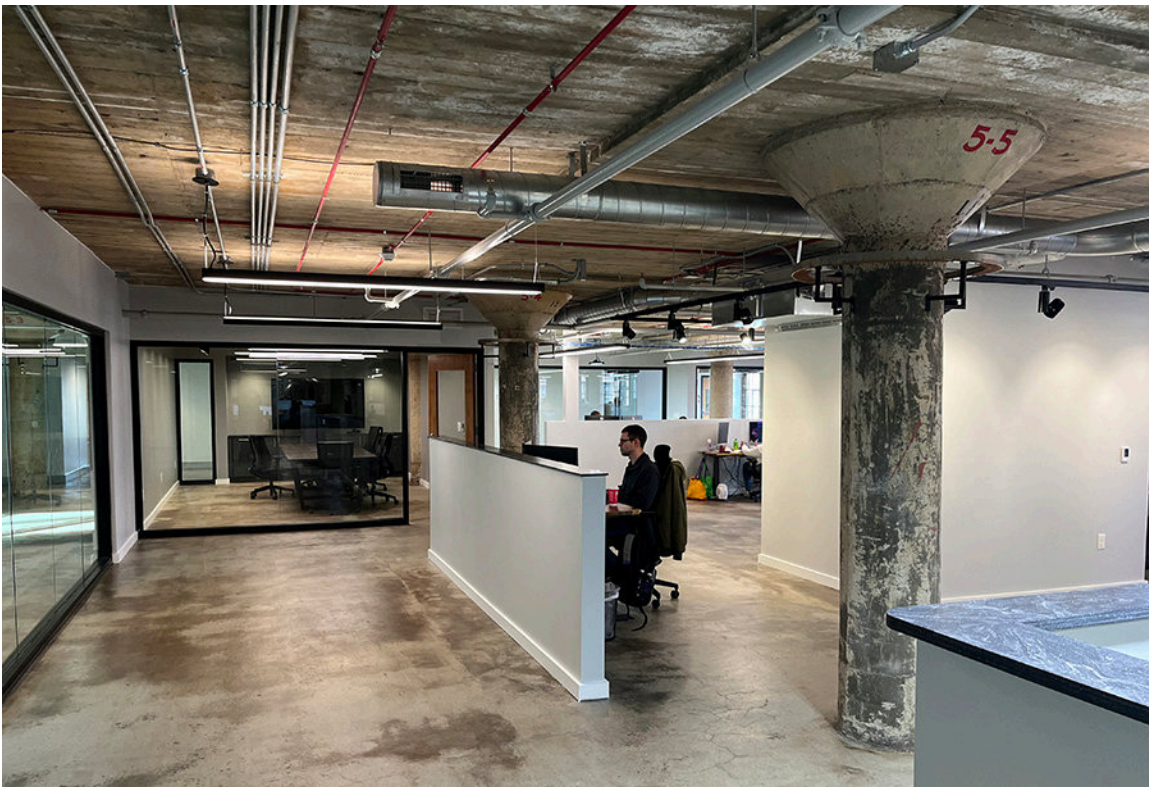


30. Mill House: Third floor corridor - Looking North West



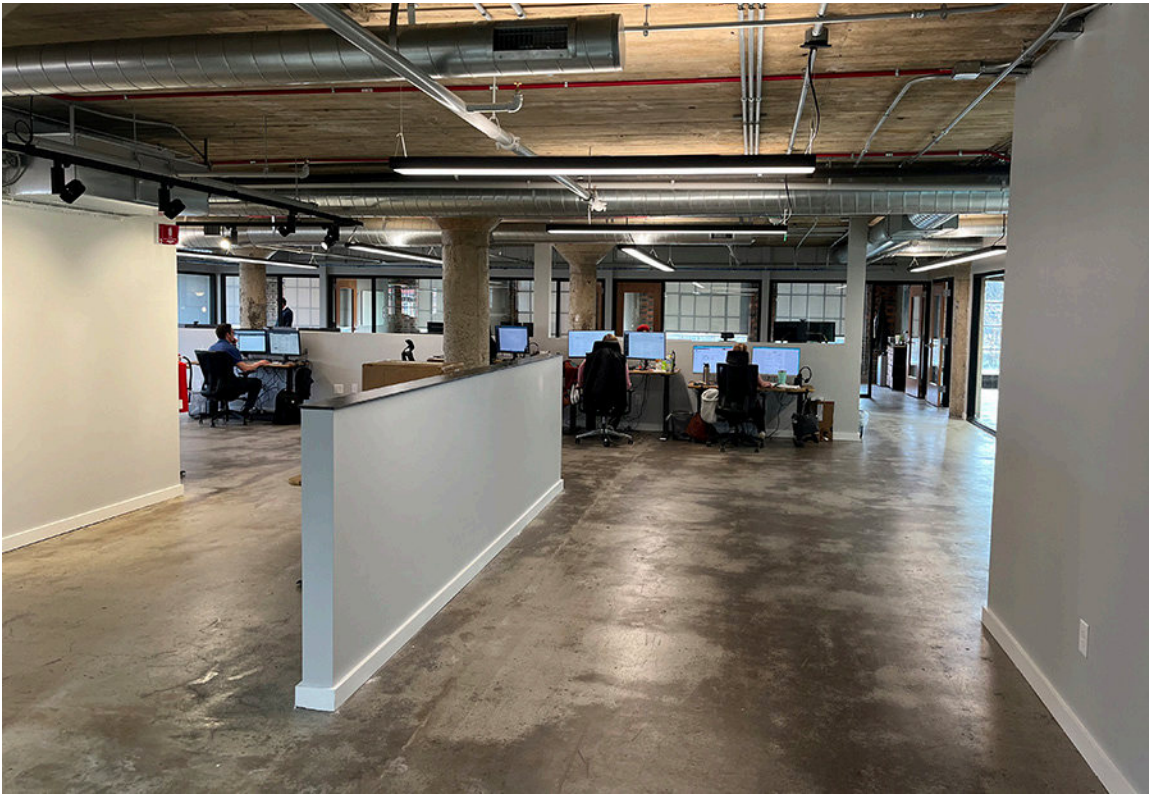


31. Mill House: Fourth floor corridor at Novapath entry

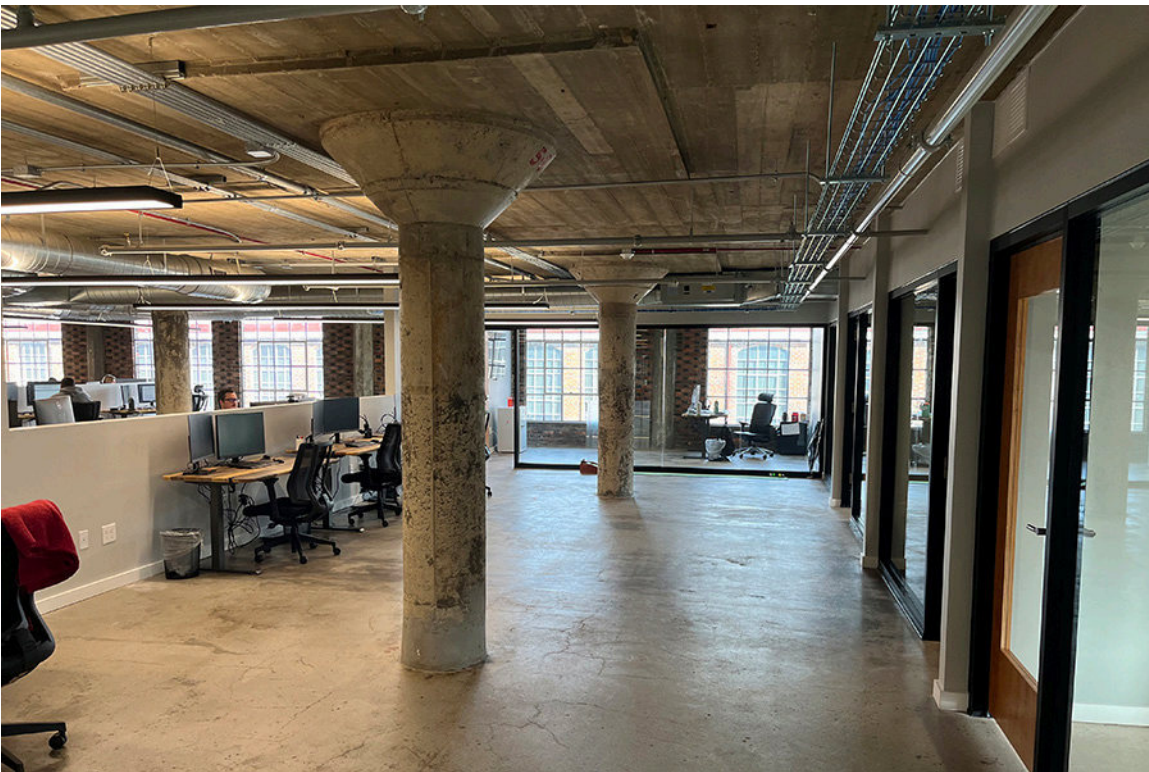


32. Mill House: Fourth floor Novapath - Looking West



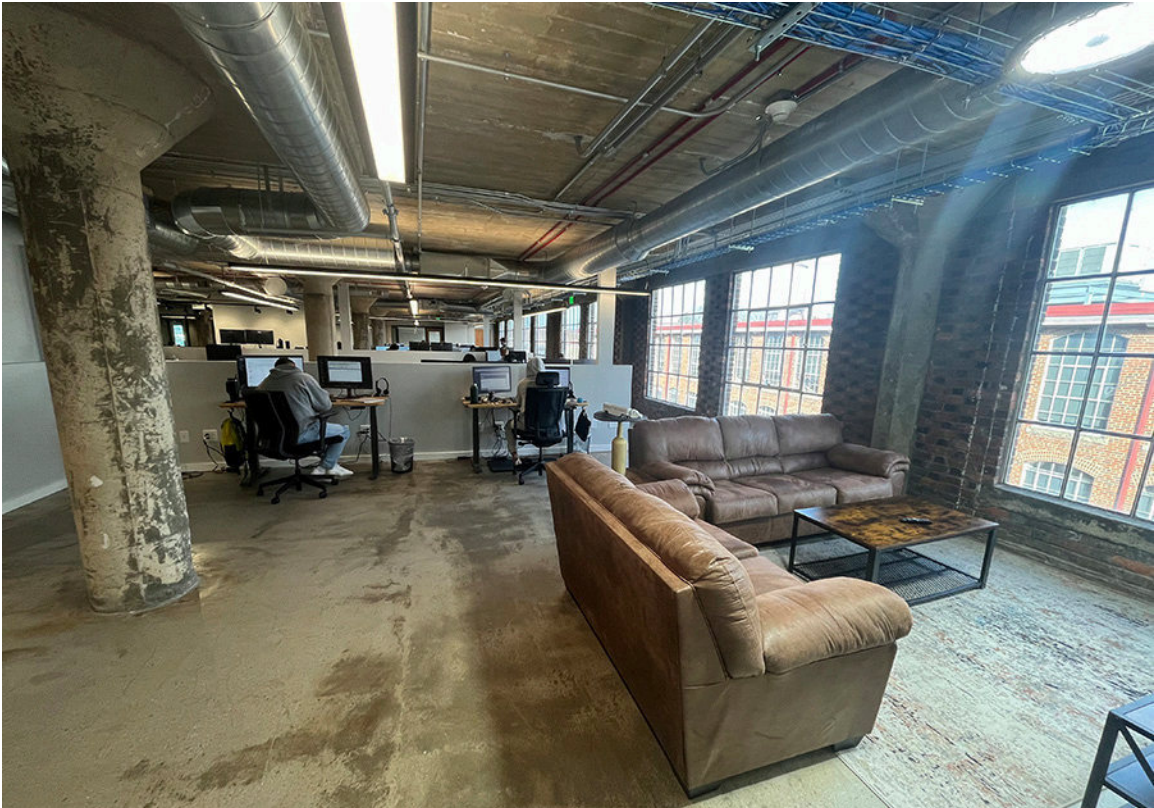


33. Mill House: Fourth floor Novapath - Looking East

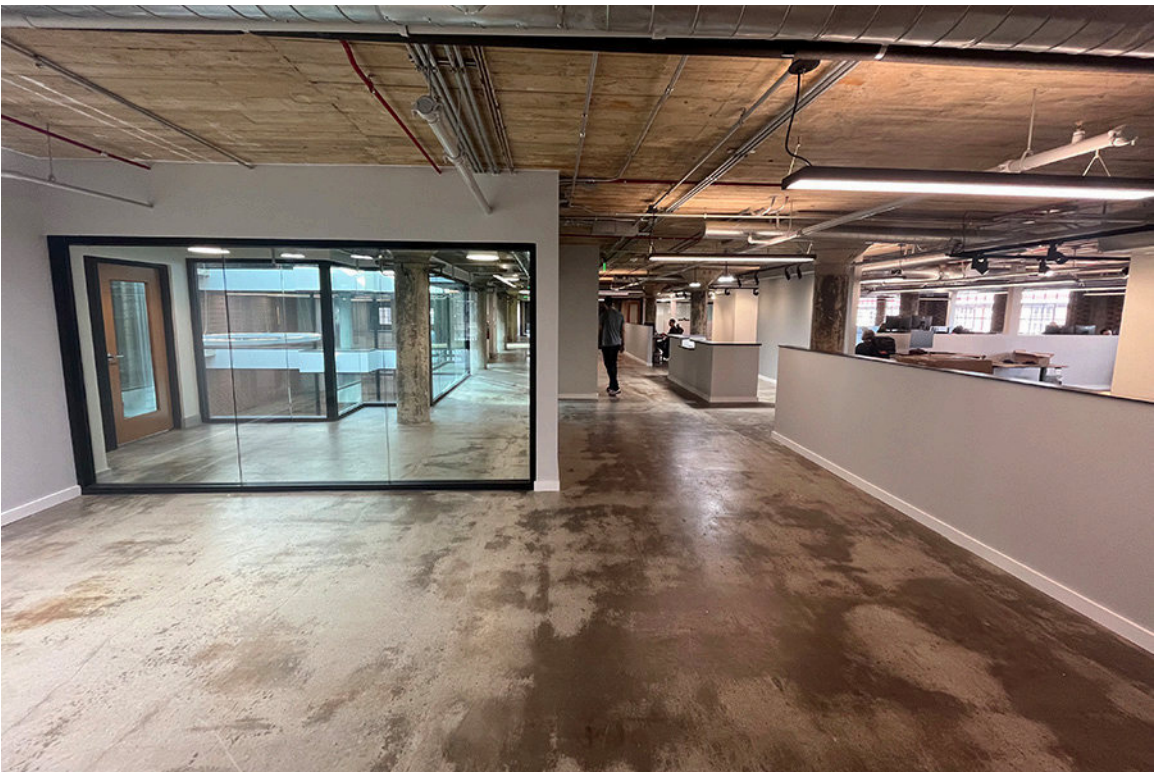


34. Mill House: Fourth floor Novapath - Looking North





35. Mill House: Fourth floor Novapath - Looking West

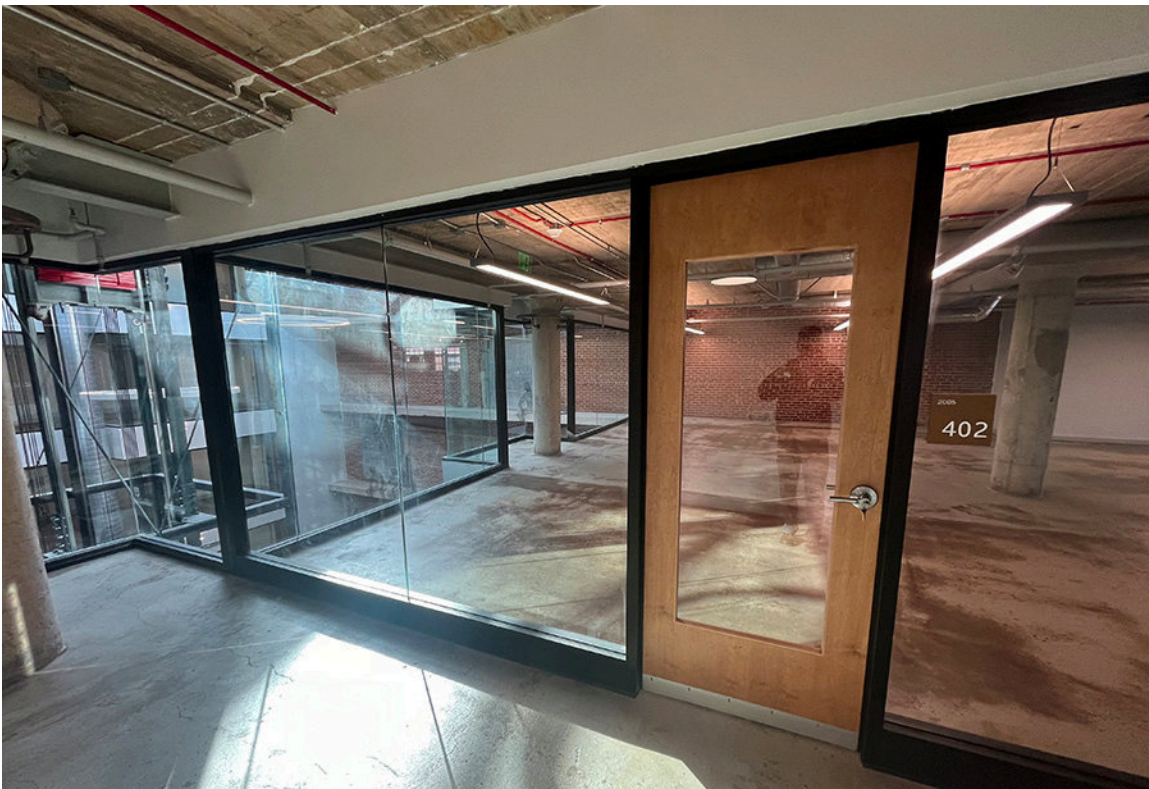


36. Mill House: Fourth floor Novapath - Looking West





37. Mill House: Fourth floor corridor - Looking South West

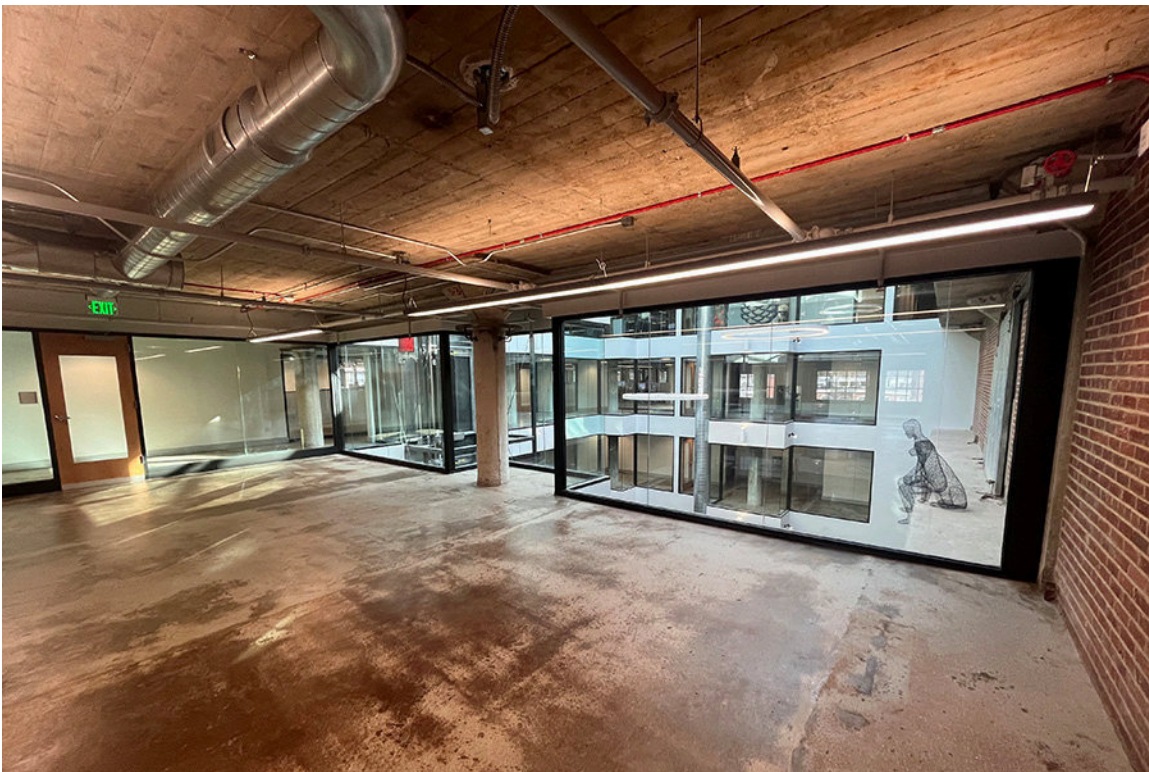


38. Mill House: Fourth floor at Suite 402 Spec. Offices entry





39. Mill House: Fourth floor Suite 402 Spec. Offices - Looking West



40. Mill House: Fourth floor Suite 402 Spec. Offices - Looking North East





41. Mill House: Fourth floor Suite 402 Spec. Offices - Looking North



42. Mill House: Fourth floor Suite 402 Spec. Offices - Looking North





43. Mill House: Fourth floor corridor - Looking West



44. Mill House: Fourth floor corridor - Looking North



**National Register of Historic Places – Nomination Form**

**1984 Designation**

EXP. 12/31/84

United States Department of the Interior  
National Park ServiceNational Register of Historic Places  
Inventory—Nomination FormSee instructions in *How to Complete National Register Forms*  
Type all entries—complete applicable sections

For NPS use only

received

date entered

JAN 30 1984

## 1. Name

historic Revolution Cotton Mills

and/or common (former) Revolution Division, Cone Mills

## 2. Location

street & number Area bounded roughly by Yanceyville St., 9th St.,  
Southern Railroad and N. Buffalo Creek, not for publication

city, town Greensboro vicinity of congressional district

state North Carolina code 037 county Guilford code 081

## 3. Classification

Category	Ownership	Status	Present Use	unoccupied industrial
<input type="checkbox"/> district	<input type="checkbox"/> public	<input type="checkbox"/> occupied	<input type="checkbox"/> agriculture	<input type="checkbox"/> museum
<input checked="" type="checkbox"/> building(s)	<input checked="" type="checkbox"/> private	<input checked="" type="checkbox"/> unoccupied	<input type="checkbox"/> commercial	<input type="checkbox"/> park
<input type="checkbox"/> structure	<input type="checkbox"/> both	<input type="checkbox"/> work in progress	<input type="checkbox"/> educational	<input type="checkbox"/> private residence
<input type="checkbox"/> site	<b>Public Acquisition</b>	<b>Accessible</b>	<input type="checkbox"/> entertainment	<input type="checkbox"/> religious
<input type="checkbox"/> object	<input checked="" type="checkbox"/> N/A in process	<input checked="" type="checkbox"/> yes: restricted	<input type="checkbox"/> government	<input type="checkbox"/> scientific
	<input type="checkbox"/> being considered	<input type="checkbox"/> yes: unrestricted	<input type="checkbox"/> industrial	<input type="checkbox"/> transportation
		<input type="checkbox"/> no	<input type="checkbox"/> military	<input checked="" type="checkbox"/> other:

## 4. Owner of Property

name Revolution Associates I c/o DeWayne H. Anderson

street &amp; number P.O. Box 21

city, town Winston-Salem vicinity of state North Carolina

## 5. Location of Legal Description

courthouse, registry of deeds, etc. Register of Deeds Office

street &amp; number Guilford County Courthouse

city, town Greensboro state North Carolina

## 6. Representation in Existing Surveys

title An Inventory of Historic Architecture  
Greensboro, N.C. has this property been determined eligible? ☐ yes ☒ nodate 1976 ☐ federal ☒ state ☐ county ☒ local

depository for survey records Survey and Planning Branch, N.C. Division of Archives and History

city, town Raleigh state North Carolina



## 7. Description

### Condition

☒ excellent  
☒ good  
☒ fair

☒ deteriorated  
☐ ruins  
☐ unexposed

### Check one

☐ unaltered  
☒ altered

### Check one

☒ original site  
☐ moved      date \_\_\_\_\_

### Describe the present and original (if known) physical appearance

The following description is keyed by number to the accompanying color-coded map.

Revolution Cotton Mills is a large industrial complex of over one million square feet, located in the Cone Village section of northeast Greensboro. Bounded by Yanceyville Street on the east, North Buffalo Creek on the south, Southern Railroad tracks on the west and Ninth Street on the north, the buildings in the complex date from 1900 to the mid twentieth century. During these years, there were three major periods of construction: 1) 1900, when the first buildings were erected and the mill began operations; 2) 1904, when the mill doubled in size; and 3) ca. 1915, when large additions on east and west ends again doubled the size of the mill and provided it with most of the elements of its present appearance. In addition to these major construction periods, other years brought smaller-scale construction, and during the 1960s, many of the buildings were brick veneered when a comprehensive air conditioning system was installed.

The overall construction of Revolution Cotton Mills is typical of textile mills built during the late nineteenth and early twentieth centuries. Designed primarily with safety and efficiency in mind, rather than architectural beauty, Revolution Cotton Mills' straightforward design conforms with the standard mill construction of the period which emphasized fire-proof or "slow-burning construction" as well as good lighting and ventilation. Described by D.A. Tompkins in his 1899 publication, Cotton Mill, Commercial Features, these construction specifications were developed by the New England mutual insurance companies and were required for insurance coverage by them and by the Factory Insurance Association (which insured Revolution Cotton Mills). Requirements included such features as the division of a mill into five basic sections: the main mill, the picker room, the tower, the engine and boiler rooms, all separated by firewalls, and the totally separate cotton warehouses; brick walls; heavy timbers of uniform size; watertight floors; low roofs with monitors for extra light and ventilation; large windows, one per bay; fire doors, a sprinkler system; an adequate water supply, etc.

When Revolution Cotton Mills began operation in September 1900, the plant consisted of a main mill building (approx. 375 X 105 ft.), a picker room (58 X 50 ft.), a shipping room (250 X 150 ft.), five cotton warehouses (each 50 X 80 ft.) and engine and boiler rooms.<sup>1</sup> All except two of the warehouses and the shipping room remain, and part of the shipping room may be buried within a ca. 1915 addition.

The main building of the original mill (1) is located virtually in the center of the complex. Of standard mill construction, this two-story building has brick walls, wood floors and ceilings, four rows of heavy timber interior support posts with chamfered corners, and a monitor roof, now enclosed. Large segmental-arched windows line the north and south walls, but have been infilled with cinderblocks. The main room is 33 bays long. According to the 1913 Sanborn Insurance Map, by that time this section was being used for carding and spinning.

A brick wall at the west end of the main room divides it from a room only 50 feet wide, identified on the 1913 Sanborn Map as the finishing, lapping and mapping section. (2) Arched windows originally lined the west wall of this room, but were converted to doorways when a large addition was attached to the west ca. 1915.

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Directly south of the finishing section and southwest of the main room is a space approximately 50 X 58 feet which was the picker room (with napping and sizing on the second floor.) (3) Conforming with the textile mill construction guidelines, it is separated from the finishing room and main room by fire walls. An arched opening leads from the picker room to the finishing room. In typical fire-proof fashion, it has a large, metal encased sliding door, designed to shut automatically. Segmental-arched windows lined the south and west walls, but these have been infilled with brick.

The main mill building, including the picker room, has been brick veneered, so that none of the windows remain visible from the exterior.

Attached to the southeast corner of the main building are the boiler and engine rooms (4), separated from the main mill by fire walls. This section of the mill has not been brick veneered, and although somewhat altered, the exterior still reveals many handsome details -- a corbelled cornice, segmental-arched doors and windows (now bricked up), large round-arched openings (now bricked up) on the lower portion of the south wall, and two round brick stacks, 125 feet tall, attached by brick passages to the building. Attached to the east end of the boiler room is a brick shed, with segmental-arched openings. The interior exhibits brick walls, concrete floors, a steel supporting structure, and wood ceiling. The interior of the southern section of this L-shaped structure is in poor repair. The northern section has been partitioned with plywood walls.

South of the main mill building, and separated from it by a railroad siding, is the row of cotton warehouses. Of the seven presently standing, the easternmost three (5) appear to have been built in 1900. (The other two of the original five were replaced prior to 1925 by the brick structure most recently used as a carpenter shop). These warehouses are built according to the construction recommendations described in D.A. Tompkins' book. Each has a brick fire wall at east and west ends, projecting in parapets above the nearly flat roof. Front and rear (north and south) sides are enclosed with light-weight board-and-batten walls with large sliding wood doors. The interior of each has one large opening, with heavy timber support posts running down the center. This form of warehouse was designed with fire in mind, because of the high flammability of cotton. In case of fire, the fire walls would help to contain the flames, while the board-and-batten walls could be easily demolished for the quick removal of cotton bales not yet ignited.

The second major period of construction at Revolution Cotton Mills came in 1904, when the plant was doubled in size.<sup>2</sup> This addition (6) included a large weave room and machine shop on the north side of the original mill, connected with it by a series of bridges.<sup>3</sup> This large one-story structure with basement is 57 bays long and measures 105 X 518 feet. Typical of standard mill construction, the building consists of wide open spaces, interrupted only by the three rows of chamfered wood support posts on the main level. (The basement level has seven rows of wooden support posts, a concrete floor and low ceiling). The monitor roof has been enclosed, as have the segmental-arched windows which lined north and south sides, and the whole has been encased with brick veneer.



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In 1909, construction continued with the addition of a bleachery (7) and dye room.<sup>4</sup> The two-story bleachery of standard mill construction adjoins the east end of the 1904 building and measures 105 X 138 feet. Both wool and steel posts support the interior of this building. It has been brick veneered. The dye room was attached to the south side of the bleachery, but has been replaced by later structures.

By 1913, several other structures had been added, as shown on the Sanborn Insurance Map of that year, but their dates of construction are not clear. Several could have been added shortly after the original construction of the mill. Among these are four cotton warehouses (8) that were added to the west end of the original row. Measuring approximately 50 feet wide but of varying depths due to the course of North Buffalo Creek which runs behind them, these warehouses remain intact, though somewhat deteriorated. The westernmost warehouse, in particular, is in poorer repair than the rest, probably due in part to the fact that only the east (connecting) wall is of brick, while the other three walls are of the more flimsy board-and-batten construction. The 1913 Sanborn Map also shows the large water reservoir (9) adjacent to the east end of the warehouses, at the point where North Buffalo Creek turns sharply north. A smaller pond was located just north of the railroad siding, south of the main mill building and west of the boiler rooms, but it has been filled in and replaced by post-1950 construction. *structure*

On the 1913 Sanborn Map a rectangular two-story section labeled "shipping and cloth room" (10) extends westward from the picker room. Measuring approximately 50 X 140 feet, it remains visible within the expanded ca. 1915 construction which flanks it on north and west. Whether this was part of the original shipping facility is unclear. The windows on the west wall of the picker room (dividing it from the shipping and cloth room) reveal that the shipping and cloth room must have been erected after the original construction. However, a photograph believed to date from ca. 1904 to 1909 shows that the shipping and cloth room had been erected by that time.<sup>5</sup> It follows the standard mill construction. The south, exposed, elevation was brick veneered in the 1960's. The 1913 Sanborn Map also shows other structures -- including box storage, stock room, and offices -- extending westward from the shipping and cloth rooms in an L-shape, but these appear to have been removed during the ca. 1915 construction.

Southeast of the picker room and south of the original main mill is a small one-story detached building of brick construction, shown on the 1913 Sanborn Map as the "opening room." (11) This building appears to remain, but has been heavily altered. The south wall has been removed and extended with cinderblock. Attached to the east side is a metal-sheathed frame shed, which may or may not be the original shed, shown on the map as the "bagging room."

A small, square brick structure (12) is located east of the main mill building and north of the engine room, and attached to them. A structure of the same configuration is shown at this location on the 1913 Sanborn Map, identified as the "service and pump room."

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2 The 1913 Sanborn Map also shows a one-story structure located in the mill yard just north of the 1909 bleachery, labeled "filter house," (13) and just west of it an elevated water tower (14) with a 50,000-gallon capacity. Both of these structures remain. The filter house, measuring 25 X 37 feet, is a common bond brick structure with flat (or nearly flat) roof and segmental-arched window openings (now bricked up) with granite sills. It has been used most recently as the medical department of the mill.

The third period of major construction activity at Revolution Cotton Mills came ca. 1915.<sup>6</sup> At this time large additions at both east and west ends of the complex once again doubled its size.

At the west end of the mill, a large addition for carding, drawing and spinning operations engulfed the shipping and cloth rooms shown on the 1913 Sanborn Map and appears to have replaced the large office, stock room and box storage complex.<sup>7</sup> This two-story addition (15), measuring approximately 130 X 542 feet, was built in standard form, with brick walls, large segmental-arched windows (now infilled with cinderblock), wood floors and ceilings, large interior spaces with chamfered wood support posts, and a monitor roof. (A photograph in a 1917 publication shows that the windows were multi-paned sash, those on the first floor having a transom and being larger than those on the second floor.<sup>8</sup>) On the second floor, added partitions separate several smaller work areas from the large work room. The building was brick veneered in the 1960s.

A second ca. 1915 addition lies north of the carding, drawing and spinning addition and parallel to it. The large weaving building (16) is attached to the west end of the 1904 building. Measuring 130 X 449 feet, it is 49 bays long and 13 wide. Like the 1904 building, this building has one main floor and a working basement. The 1904 and ca. 1915 buildings open into each other to form large open spaces of unusual length. The basement level of the weaving building has a concrete floor, nine rows of wood support posts and a low ceiling. Because of the placement of this floor, the segmental-arched window openings (now closed up) are considerably smaller than those on the main floor level. The main level of the building continues the use of standard mill construction. Like many of the other large buildings in the complex, this one had a monitor roof, still intact but now enclosed. This building has been brick veneered.

At the east end of the complex two other additions were built ca. 1915. The largest of these is a three-story building (17), measuring 130 X 300 feet, used primarily for storage and shipping, thus replacing the earlier structures at the west end of the complex.<sup>9</sup> This building, with its attached office (18) at the northeast corner, is among the least altered of the Revolution buildings in terms of its exterior appearance. Like the other buildings, it is built in the standard mill form. Its common bond brick walls are punctuated by rows of large, 35-light windows set in segmental-arched openings with granite sills. A distinguishing feature of this building is the large concrete arches set on concrete piers beneath the east end of the structure, allowing the passage of North Buffalo Creek below. A loading dock runs along the first story level on the south side of the building. At the east end of the south elevation are double-leaf wooden loading doors. Decorative ironwork guards protect these openings on the upper two floors. On the interior, standard mill construction prevails, although spaces have been partitioned from the main rooms to serve various functions.



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South of the storage/shipping/office building is a separate five-story structure (19), 100 X 160 feet, probably built shortly after 1915.<sup>10</sup> According to the 1925 Sanborn Map, it was used for the storage of finish goods. This building exhibits a more advanced form of the standard mill construction, using reinforced concrete rather than wood. Round concrete posts support steel joists and concrete floors on the interior. The bays and floor levels are visually divided on the exterior by concrete vertical and horizontal bands. Walls are surfaced in Flemish bond brick. Each of the five bays on the east facade has two twenty-light windows, except for the south bay, in which one of the windows has only ten lights. The windows of this building are set within rectangular, rather than arched, openings. A corrugated metal loading dock has been added to the east end of the building in recent years. North Buffalo Creek continues its path beneath this building.

After the mid 1910s, construction was sporadic at Revolution Cotton Mills, and when it did occur, it was on a relatively small scale in comparison with earlier periods of construction. By 1925 several structures had been added, as shown by the Sanborn Insurance Map of that year. One of these was the drug room (20), a 34 X 100 foot, one-story reinforced concrete and brick structure located south of the 1909 bleachery and west of the ca. 1916 storage building.

A second structure from this period is the second dye house, later used as a carpenter shop (21). Located at the east end of the cotton warehouses next to the reservoir, it replaced two of the original warehouses. Measuring 80 X 108 feet, this is a one-story brick structure laid in common bond, with large 35-light industrial windows, a low pitched main roof with exposed rafter ends, a monitor roof, and large sliding wood doors. The interior is characterized by a concrete floor, two large interior spaces separated by a frame partition, and heavy wooden support posts with chamfered corners.

A third, and the most notable, structure from this period is the yellow brick chimney stack (22) with red bricks spelling "Revolution" in a vertical manner. Located just west of the boiler room, this dramatic stack is larger than the two original stacks nearby.

Between 1925 and 1950 several more structures were added to the Revolution complex. Perhaps the most prominent is the six-story addition to the ca. 1916 Flemish bond and concrete storage building. Built in the 1930s,<sup>11</sup> the addition (23) measures 60 X 200 feet, and is a common bond brick structure, six bays wide (across the east end) and twenty bays deep (along the south side). The bays are divided by brick pilasters. Fifteen-light rectangular windows are used on the east facade, while ten-light windows are found on the south elevation. The rear of the building, like the storage building it adjoins, is raised on concrete piers as protection against the North Buffalo Creek which runs beneath its northwest corner.

During the second quarter of the twentieth century, other small structures (24) were attached to the south side of the bleachery, or else the first dye room at that location was heavily remodelled and enlarged.<sup>12</sup> At present, these structures appear as

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a hodge-podge of brick and reinforced concrete structural elements of little significance.

The machine shop (25), located just north of the 1904 building on the northern edge of the complex, is a one-story brick veneer structure with rectangular windows, most of which are still open. Built in the 1940s, the main section of the machine shop measures approximately 40 X 1454 feet, while a small addition, believed to have been built a couple of years later, measures 20 X 75 feet.<sup>13</sup>

Since 1950 there has been little construction at Revolution Cotton Mills, and none of architectural significance. Additions during this period include such features as small cinderblock structures along the north sides of the western 1915 buildings and the 1904 building (26), a small structure at the southeast corner of the 1904 building (27), a metal silo (28) south of the 1900 main building, and several small structures (29) in the area bounded by the boiler room on the east and the 1900 main building on the north. Loading docks (30) have also been added to several of the buildings. The change of most impact during recent years was the brick veneering of much of the complex during the 1960s.

In addition to the majority of buildings which can be dated with a fair amount of certainty, there are others of apparently little significance for which the dating is unclear. Of these small-scale structures, most are found at the second floor level connecting the 1900 and 1904 buildings and the two westernmost 1915 structures. Small bridges connected these buildings in earlier days, but starting in the 1920s, more of this space began to be filled in for such uses as canteens, supply rooms, timekeepers' offices and quill rooms. Another of these structures is a small frame building, measuring 20 X 20 feet, found north of the 1904 building and west of the 1940s machine shop. It was probably built after 1950.

Also within the nominated area is a parking lot on the north side of the complex opposite Ninth Street.

As was typical of the early twentieth century, when Revolution Cotton Mills was first built, houses were built for many of the operatives.<sup>14</sup> Now privately owned and substantially remodelled, the Revolution mill houses line the streets -- Poplar, Spruce, Hubbard, Cypress and Maple -- just north and uphill from the mill. By 1925 a row of twelve cotton warehouses had been added south of North Buffalo Creek,<sup>15</sup> and in 1947 a rayon plant was added south of the warehouses.<sup>16</sup> None of these structures, however, are owned by the present developer-owners of the mill complex, and therefore are not being included in this nomination.

Although Revolution Cotton Mills ceased industrial operations in February, 1982, current plans by the partnership of Revolution Associates I should bring new life to the complex. The developers intend to convert the buildings to apartments and offices, utilizing the Secretary of the Interior's guidelines for rehabilitation, so as to preserve the significant historic and architectural features of the complex.



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Footnotes--

<sup>1</sup>"Revolution Cotton Mills. Manufacturers of Cotton Flannels, Near Greensboro." Clipping in Cone Mills File #1, Greensboro Public Library, source unknown, believed to date from 1901.

<sup>2</sup>Minute Book (Bound Book, 2/10/1899 - 8/3/1936, Archives, Cone Mills Corp., Greensboro), p. 67. Hereinafter referred to as Minutes, Bound Book. Supportive dating information for this and many of the other mill buildings comes from dates given on a map entitled "Cone Mills Corporation 'Revolution Division' Greensboro, N.C." surveyed by L.W. Saunders on November 20, 1953 for the Associated Factory Mutual Fire Insurance Companies, Engineering Division, Boston, Mass. Hereinafter referred to as 1953 Map.

<sup>3</sup>Sanborn Map Company, "Insurance Maps of Greensboro, Guilford County, North Carolina," (New York: Sanborn Map Company, 19113), sheet 40. Hereinafter referred to as Sanborn Map with year and sheet number.

<sup>4</sup>A Member of the Staff, "The Cone Mills in North Carolina," Cotton, October, 1938, p. 112.

<sup>5</sup>This photograph, of unidentified source, appears to date from between the 1904 and 1909 additions, judging from the buildings shown and not shown.

<sup>6</sup>Minutes, Bound Book, p. 81.

<sup>7</sup>Sanborn Map, 1925, sheet 68.

<sup>8</sup>C.E. Weaver, compiler, Sketches of Greensboro, North Carolina (Richmond: Central Publishing Co. Inc., 1917), p. 5.

<sup>9</sup>Sanborn Map, 1925, sheet 68.

<sup>10</sup>Sanborn Map, 1925, sheet 68. The map says "Built 1916."

<sup>11</sup>1953 Map.

<sup>12</sup>1953 Map.

<sup>13</sup>1953 Map.

<sup>14</sup>Manufacturers' Record (Baltimore), March 17, 1899, p. 131.

<sup>15</sup>Sanborn Map, 1925, sheet 68.

<sup>16</sup>"Revolution Division Has Served Textile Industry for Half a Century," Textorian December 16, 1949.

## 8. Significance

Period	Areas of Significance—Check and justify below			
<input type="checkbox"/> prehistoric	<input type="checkbox"/> archeology-prehistoric	<input type="checkbox"/> community planning	<input type="checkbox"/> landscape architecture	<input type="checkbox"/> religion
<input type="checkbox"/> 1400–1499	<input type="checkbox"/> archeology-historic	<input type="checkbox"/> conservation	<input type="checkbox"/> law	<input type="checkbox"/> science
<input type="checkbox"/> 1500–1599	<input type="checkbox"/> agriculture	<input type="checkbox"/> economics	<input type="checkbox"/> literature	<input type="checkbox"/> sculpture
<input type="checkbox"/> 1600–1699	<input type="checkbox"/> architecture	<input type="checkbox"/> education	<input type="checkbox"/> military	<input type="checkbox"/> social/
<input type="checkbox"/> 1700–1799	<input type="checkbox"/> art	<input type="checkbox"/> engineering	<input type="checkbox"/> music	<input type="checkbox"/> humanitarian
<input type="checkbox"/> 1800–1899	<input type="checkbox"/> commerce	<input type="checkbox"/> exploration/settlement	<input type="checkbox"/> philosophy	<input type="checkbox"/> theater
<input checked="" type="checkbox"/> 1900–	<input type="checkbox"/> communications	<input checked="" type="checkbox"/> industry	<input type="checkbox"/> politics/government	<input type="checkbox"/> transportation
		<input type="checkbox"/> invention		<input type="checkbox"/> other (specify)

Specific dates: 1899, 1900, 1904, 1915  
 1902 Builder/Architect Unknown

### Statement of Significance (in one paragraph)

Built in 1899–1900 in Greensboro as a joint venture of the prominent Cone and Sternberger families, the Revolution Cotton Mills is an example of the diversification which took place in the Southern textile industry during the late nineteenth and early twentieth centuries. Revolution Mills' particular significance lies in the fact that it was reputed to be the first flannel mill in the South, at a time when flannel was an increasingly popular fabric. By the 1930s, Revolution Cotton Mills had become the largest exclusive flannel producer in the world. The mill remains the most intact of the turn-of-the century Cone-affiliated textile mills in Greensboro.

### Criteria Assessment:

- A. The Revolution Cotton Mills is associated with the early twentieth century industrial development of Greensboro and with the innovations in the Southern textile industry which occurred during the late nineteenth and early twentieth centuries.
- B. The Revolution Cotton Mills is associated with the lives of various members of the Cone and Sternberger families of Greensboro. These families not only served as industrial leaders (in the case of the Cones, well beyond the confines of Greensboro), but as community leaders who contributed substantially to numerous philanthropic endeavors through the years.
- C. The Revolution Cotton Mills embodies the distinctive characteristics of standard textile mill construction of the late nineteenth and early twentieth centuries, incorporating the "slow burning construction" and good lighting and ventilation prescribed by factory insurance companies of the period. It is the most intact of the early twentieth century textile mills in Greensboro.
- D. May be likely to yield information important in prehistory or history.



## 9. Major Bibliographical References

See Attached Sheet.

## 10. Geographical Data

Acres of nominated property 32.71

Quadrangle name Greensboro

Quadrangle scale 1:24000

### UMT References

A 

1	1	7
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6	0	9	8	2	0
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3	1	9	9	1	5	7	1	3	0
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Zone Easting Northing

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6	1	0	2	4	0
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3	1	9	9	1	5	5	4	0
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Zone Easting Northing

C 

1	1	7
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6	1	0	2	1	0
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3	1	9	9	1	5	3	0	0
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D 

1	1	7
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6	0	9	7	1	0
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3	1	9	9	1	5	2	2	0
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H 

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**Verbal boundary description and justification** The boundaries of the nominated property are as shown on the accompanying property survey map entitled, "Property of Cone Mills Corporation," surveyed by Marvin L. Borum and dated Sept. 9, 1983. The mill complex, mill  
-- see continuation sheet --

### List all states and counties for properties overlapping state or county boundaries

state	code	county	code
N/A		N/A	

state	code	county	code
-------	------	--------	------

## 11. Form Prepared By

name/title Laura A. W. Phillips, Consultant

organization

date September 19, 1983

street & number 637 N. Spring Street

telephone 919/727-1968

city or town Winston-Salem

state North Carolina, 27101

## 12. State Historic Preservation Officer Certification

The evaluated significance of this property within the state is:

☐ national ☐ state ☒ local

As the designated State Historic Preservation Officer for the National Historic Preservation Act of 1966 (Public Law 89-665), I hereby nominate this property for inclusion in the National Register and certify that it has been evaluated according to the criteria and procedures set forth by the National Park Service.

State Historic Preservation Officer signature

*William S. Pinn*

title State Historic Preservation Officer

date October 20, 1983

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I hereby certify that this property is included in the National Register

Entered in the  
National Register

date

3/1/84

Keeper of the National Register

Attest:

date

Chief of Registration

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The history of the Revolution Cotton Mills is the story of an innovative joint venture between two prominent textile families -- the Sternbergers and the Cones. Throughout most of its history, both families played significant and intertwining roles in the development of the mill, to the extent that it is difficult to determine who was actually in the lead position during certain periods. The memorial tributes paid by the Revolution board of directors after the deaths of Ceasar Cone and Emanuel Sternberger illustrate this well. When Ceasar Cone, who was never an officer of the mill, died on March 17, 1917, the board's tribute described him as "the father of this and the other Cotton Mills surrounding us" and as "the originator, organizer and successful leader of this enterprise, 'The Revolution Cotton Mills'," and added that "the success of this Mill is entirely due to his valuable advice and assistance."<sup>1</sup> On the other hand, when Emanuel Sternberger, who served as president of the mill from 1899 to 1924, died on May 28, 1924, the board's tribute referred to him as "the founder and creator of the Revolution Cotton Mills" who "served faithfully as its President and chief executive officer from the time of its first organization to the date of his death."<sup>2</sup> Although Revolution Cotton Mills could not officially be considered a Cone facility until 1927, when the Cones' Proximity Manufacturing Company became a major stockholder and when Julius W. Cone became president,<sup>3</sup> its development was always heavily influenced by the Cones.

Moses and Ceasar Cone, who became giants in the textile world, were born in Jonesboro, Tennessee in 1857 and 1859. In 1870 they moved to Baltimore, where their immigrant father, Herman Cone, established a wholesale grocery business. In 1878, the brothers became partners in the business of H. Cone & Sons.<sup>4</sup> During the late 1880s the brothers realized that lower freight rates enjoyed by Norfolk and Richmond would eventually cause their business great losses, so they began to seek out other endeavors. In 1887 C.E. Graham, a friend and customer, convinced them to invest in the organization of a cotton mill in Asheville, North Carolina. The C.E. Graham Manufacturing Company was not successful, and was reorganized in 1892 as the Asheville Cotton Mills, becoming the first Cone Mill.<sup>5</sup> Recognizing that the Southern mills which produced cotton plaids were suffering because of drastic competition among themselves, Moses Cone opened in 1891 the first offices of the Cone Export and Commission Company in New York.<sup>6</sup> Its goals were to handle the output of the cotton mills in North Carolina, keeping within the state some of the profits which had been flowing to the Northern commission houses, and to stimulate and encourage the diversification of the Southern textile industry.<sup>7</sup> In promoting diversification, the Cones themselves organized the Southern Finishing and Warehouse Company at Greensboro in 1893, at a time when there were few finishing mills in the South.<sup>8</sup> Then, determining that it would be more to their advantage to control the mills making the goods rather than just to sell the finished products, the Cones decided, just before the Panic of 1893, to raise the capital to build two mills, one to make denims and the other to make canton flannels. Due to the financial panic, however, the first of these -- the Proximity Manufacturing Company -- was not built in Greensboro until 1895-1896. It produced the famous Cone denims. (Several years later, the Cones built another, larger, mill in Greensboro for additional denim production -- the White Oak Mills).<sup>9</sup> The Cones were well on their way to establish their internationally known textile empire.



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At the same time that the Proximity Mill was being established, Ceasar Cone, F.J. Murdoch and J.W. Scott filed Articles of Incorporation for Revolution Cotton Mills with the clerk of Guilford County Superior Court. The Certificate of Incorporation was issued by the Secretary of State of North Carolina on July 25, 1895.<sup>10</sup> The name "Revolution" was chosen because the production of canton flannel in the South was to be a distinct departure from the old lines and would revolutionize the trade.<sup>11</sup> Local tradition relates that the Cones originally wanted to call the mill "Revelation," but, deciding that such a Biblical term might offend some, agreed on "Revolution" instead. And yet, according to the Greensboro Daily Industrial News in 1908, "So great was its success, that Revolution Mill soon became a revelation."<sup>12</sup> Even with the Certificate of Incorporation in hand, the Cones did not proceed with their flannel mill for several more years.

In the meantime, in the late 1890s Emanuel Sternberger, a Clio, South Carolina merchant who had been a customer of H. Cone and Sons and was a personal friend of Moses and Ceasar Cone, began to consider other avenues of investment.<sup>13</sup> A native of Bavaria, Germany (original home of Herman Cone), Emanuel Sternberger had come to South Carolina around 1873 at the age of fourteen, where he worked for several years as a clerk in the store of his brother, D. Sternberger, in Florence. By 1879 he had become the proprietor of his own store in Clio. For some years he was also the president of the Bank of Clio and was president of the Clio Gin Company, a position he held even after moving to Greensboro.<sup>14</sup> According to Sternberger's daughter, Mrs. Edward Benjamin of Greensboro, "He had been reading all about mills . . . and was interested in building a mill where the cloth could be finished."<sup>15</sup> Emanuel and his brother, Herman, were contemplating the construction of a sheeting mill at Clio and contacted Ceasar Cone for advice. Cone suggested that they consider the manufacture of less competitive goods, proposing that they pursue a flannel mill in Greensboro, and offered to help them in getting started and in raising capital. The Sternbergers accepted his offer.<sup>16</sup>

On February 20, 1899, following an agreement made on February 10 by Moses and Ceasar Cone and Emanuel and Herman Sternberger, a stockholders meeting of the Revolution Cotton Mills was called to organize and elect officers. Emanuel Sternberger was elected president; Solomon Frank of Baltimore, vice president; and Herman Sternberger, secretary and treasurer. Ceasar Cone was requested to procure a new charter and to contract for both railroad service and for the necessary bricks and brickwork for mill construction.<sup>17</sup> Additionally, the stockholders contracted with Cone for seventy-five acres of land near Greensboro at \$100 per acre with a one year option on twenty-five adjoining acres at the same price, all to be paid in corporation stock.<sup>18</sup> A new charter was issued by the Secretary of State on March 11, 1899.<sup>19</sup>

News of the new venture traveled quickly, its progress reported by the Manufacturers' Record, a weekly Southern industrial, railroad, and financial newspaper published in Baltimore. Even before the stockholders' organizational meeting, the February 17 issue of the Manufacturers' Record revealed that

A report from Greensboro, N.C. states that a \$600,000 stock company is being formed there for the purpose of erecting a factory for the

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manufacture of canton flannels. It is further stated that \$300,000 of the stock has been subscribed for, and that Messrs. E. and H. Sternberger, of Clio, S.C., are the prime movers in the enterprise. Messrs. Ceasar (sic) Cone and Moses Cone of Greensboro, N.C., are credited with securing the city of Greensboro as location for this plant.<sup>20</sup>

On February 24, 1899, the Manufacturers' Record reported that

The most important development of the week at this point has been the closing of contracts, securing to Greensboro the enterprise referred to in my last letter, which is a mill for the manufacturing of canton flannels.<sup>21</sup>

A continuation of this report expressed the significance of the new mill.

Cotton flannel is now exclusively manufactured in the North, and this development is but another evidence of facilities offered by this section in the manufacture of cotton fabrics.<sup>22</sup>

On March 3 it was reported that a site had been selected for the mill<sup>23</sup> and on March 10 that plans and specifications were being prepared.<sup>24</sup> On March 17, this newspaper reported that "Revolution Cotton Mills will erect 125 cottages for its operatives."<sup>25</sup> However, it was not until a year and a half later that the Manufacturers' Record, in its September 27, 1900 issue, reported the opening of the mill.

The Revolution Cotton Mills of Greensboro, N.C. produced its first canton flannel during the week, being the first mill in the South to manufacture this product. The Revolution plant is one of 12,000 spindles and 376 looms, and it has just been completed. Power is furnished by a 675-horse-power engine. The operatives number 350. The capitalization is \$300,000.<sup>26</sup>

Another description of the mill, believed to have been written in 1901, adds that the main building was 375 X 105 feet, the picker room 58 X 50 feet, the shipping room 250 X 150 feet, and the five cotton warehouses were each 50 X 80 feet. A complete water system, with two tanks of a 25,000-gallon capacity, was connected with the mill. The account added that the products of the company consisted of cotton flannels, with daily capacity being 420 pieces, equivalent to about 23,000 to 25,000 yards.<sup>27</sup>

Typical of most textile mills built during the late nineteenth and early twentieth centuries, Revolution Cotton Mills was designed with safety and efficiency in mind rather than architectural beauty. Its simple, straightforward design adhered to the "slow burning construction" required by the New England Factory Mutuals and the Factory Insurance Association of their insured mills.<sup>28</sup> (Revolution was insured by the Factory Insurance Association).<sup>29</sup> The great risk of fire in a textile mill made this type of construction imperative. The theory behind it was that if a fire should start, it would burn so slowly that the standard fire protection apparatus on the premises could easily



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control it. Essential features of the design included brick walls, heavy timbers of uniform size, thick watertight floors, low roofs with a slope of only around one-half inch to the foot, fire doors, and an automatic sprinkler system.<sup>30</sup> This type of construction also dictated five basic, separate parts of a mill: (1) the main mill, (2) the picker room, separated from the main mill by a fire wall, (3) the belt or rope tower and dust flue appended to the main mill and picker room, (4) the engine and boiler rooms built in the form of an L and separated from the main mill by a fire wall, and (5) the warehouse, a separate building with a series of parallel brick fire walls connected by light-weight wooden walls with large doors which could be easily torn down for removal of the cotton bales in case of fire.<sup>31</sup> An early insurance map reveals that Revolution Cotton Mills followed this layout.<sup>32</sup>

Another functional imperative that was adhered to by Revolution Cotton Mills was the provision of adequate light and ventilation for the working spaces. One way to achieve this was through large windows, one per bay, generally consisting of two lower sliding sash and an upper, segmental-arched transom. Another method of achieving light and ventilation was through a monitor (a structure several feet high and surrounded by windows) which ran nearly the full length of the roof.<sup>33</sup> An early photograph of Revolution Cotton Mills illustrates these features.<sup>34</sup>

When the Revolution Cotton Mills began operation in 1900, it took its place in an industry which had grown rapidly in the South during the late nineteenth century, to the point where its foundation was solid and its future preeminence seemed assured. Growth during the last decades of the nineteenth century was strong. In 1890, 254 textile mills were reported in operation in the South, while in 1900, the number had more than doubled to 542.<sup>35</sup>

In 1900 there were 73 new mills under construction, fifteen of which (including Revolution) were being built in North Carolina. North Carolina, in fact, was second among the Southern states in terms of the number of looms and spindles. With its initial 12,000 spindles and 376 looms, Revolution Cotton Mills was far from the largest mill in the state but was well above average in size.<sup>36</sup>

In terms of Greensboro's industrial economy, Revolution Cotton Mills was constructed during a period marked by rapid growth and diversification. Between 1884 and 1904, more than forty new manufacturing firms were established. Textiles, clay products, furniture, and other wooden products such as bobbins and shuttles were the major areas of concentration.<sup>37</sup> When Sallie W. Stockard wrote her history of Guilford County in 1902, she listed the capital stock of 56 Guilford County corporations. Of these, Revolution Cotton Mills was listed with the highest stock value -- \$300,000, followed by the Cones' Proximity Manufacturing Company, with \$150,000.<sup>38</sup>

In the half century following the initial construction of Revolution Cotton Mills, it was enlarged on several occasions, greatly expanding its original size. The first additions came within the first few years of the mill's existence. On January 26, 1903, the board of directors took steps to provide capital for "erecting additional buildings and buying necessary machinery and equipment to about or beyond the capacity of the present plant."<sup>39</sup> On February 4, 1904 the company minutes stated that "the Company is

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doubling its plant."<sup>40</sup> This addition provided a new weave room and machine shop, attached by bridges to the north side of the original mill.<sup>41</sup>

Several years later, brown cotton flannels -- the type produced at Revolution -- had a slump in the market, making ready sales for the mill products difficult. When it became obvious that the flannel would need to be bleached before it could be sold, arrangements were made to ship the cloth to the Bondsville Bleachery in Massachusetts, since there were few bleacheries in the South at the time, and those which did exist were inadequate to take on additional work. In 1909, Revolution added its own bleachery and dye plant.<sup>42</sup> A 1910 article on the mill described the combined weaving and bleaching building as being 665 X 105 feet and the dye house as 30 X 40 feet. According to this article, the mill then consisted of 32,000 spindles and 820 looms, with an output of 60,000 yards of flannel a day. The mill provided steady employment for 500 to 550 operatives.<sup>43</sup>

On January 16, 1914, the company minutes recorded that bonds were to be issued which would enable the company to carry out and make additions.<sup>44</sup> By 1916 large additions at the east and west ends of the mill had been made for weaving, carding, spinning, napping, storage and shipping, and office purposes.<sup>45</sup> By then, looms totalled 2,048.<sup>46</sup>

The following decade witnessed changes in leadership at Revolution Cotton Mills. Ceasar Cone's advisory capacity ceased with his death in 1917.<sup>47</sup> (Moses Cone had died in 1908).<sup>48</sup> Herman Sternberger, secretary and treasurer of the mill since its creation, died in 1918.<sup>49</sup> On May 28, 1924 Emanuel Sternberger, who had served for a quarter of a century as Revolution's first president, died.<sup>50</sup>

That same year, Emanuel's wife, Bertha Strauss Sternberger, and his daughter, Emelie Sternberger, were named as directors of the mill. In addition, Bertha Sternberger was elected president, a position she held for three years.<sup>51</sup> Whether her presidency was practical or purely ornamental is not clear. She was reputed, however, to have been a strong-willed woman of achievement in her own right. Bertha Strauss grew up on a large cotton plantation in Mayesville, South Carolina, and moved to Greensboro after marrying Emanuel Sternberger in 1900. She took an active role in the life of the community. A major effort on her part was to bring parks and playgrounds to Greensboro. Bertha Sternberger was also greatly interested in education, and from 1921 until 1927 served on the Greensboro City Board of Education, the first woman to be appointed to this body. After her husband's death, she and her daughters established the Emanuel Sternberger Education Fund, from which interest-free loans are made for the educational expenses of selected students. Bertha Sternberger died on February 17, 1928.<sup>52</sup>

Bertha Sternberger was the last of the Sternbergers to hold the office of president of Revolution Cotton Mills. However, Herman Sternberger's son, Sigmund, who had become assistant secretary/treasurer of the mill in 1916 and was promoted to treasurer in 1919, continued to hold that position until Revolution was absorbed by Cone Mills Corporation on January 1, 1948.<sup>53</sup> After that, he continued to serve as a director of Cone Mills Corporation for a number of years.<sup>54</sup>



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Probably the most noticeable shift in leadership came in 1927. On January 28 of that year, the Cones' Proximity Manufacturing Company was listed for the first time in the Revolution board minutes as a stockholder -- a major stockholder -- of the company. On that same day, Julius W. Cone, younger brother of Moses and Ceasar Cone who had served as vice president of the mill since 1908, was named president.<sup>55</sup> He remained president until 1939, when he became chairman of the board.<sup>56</sup> In addition to his role at Revolution, Julius Cone served as president of Cone Export and Commission Company from 1917 to 1938 and then as its chairman of the board; as vice president of the Proximity Manufacturing Company; and as a director of the Jefferson Standard Life Insurance Company and of the Atlantic Bank and Trust Company. He also served for years as a city councilman.<sup>57</sup> With Julius Cone's presidency, and the emergence of Proximity Manufacturing Company as a major stockholder, Revolution Cotton Mills became a full-fledged Cone mill.

After Julius W. Cone, Herman Cone (son of Ceasar Cone) served as president of Revolution Cotton Mills from 1939 through 1944, and after he became chairman of the board, Marion W. Heiss served as president from 1945 through 1947.<sup>58</sup>

Since 1927, several smaller scale additions have been made to the Revolution plant. Probably the most significant of these have been a ca. 1935 cloth warehouse, measuring 60 X 200 feet, at the southeast corner of the mill and a 1946-1948 machine shop, approximately 40 X 145 feet, on the north side of the complex.<sup>59</sup>

By 1938 Revolution Cotton Mills claimed to be the largest exclusive flannel mill in the world, producing annually 50,000,000 yards of various weights and constructions of outing, canton and printed flannels.<sup>60</sup>

Like most textile mills of the period, Revolution had its own mill village. Apparently, 125 cottages were erected when the mill was first built, and more were added later.<sup>61</sup> A 1910 description of the mill noted that, "The company houses its employees in neat, modern houses and has supplied the village of Revolution with schools, play grounds, churches and every possible convenience."<sup>62</sup> While subsequent, more descriptive, accounts of the Revolution village and its amenities have not been found, it seems likely -- because of the involvement of the Cones with the mill throughout its history and their leadership of the mill after 1927 -- that the Revolution workers enjoyed much the same company-sponsored benefits in their community life as did the workers at the Cones' Proximity and White Oak plants. In fact, a 1938 account of the Cone mills states that "The community activities and policies of the Proximity Manufacturing Company . . . are similar in practically every respect to those prevailing at Revolution Cotton Mills in Greensboro . . ."<sup>63</sup>

For the Proximity and White Oak employees, the Cones provided numerous community benefits. Briefly, they built and maintained schools, which they operated for nine months of the year, and they maintained a free kindergarten for the children of mill employees. Social workers were hired to work in a company maintained welfare department, and a staff of nurses looked after the general health of the village residents. Y.M.C.A. buildings were erected and operated, and summer vacation camps for workers and their families were provided. In order to encourage spiritual life, the

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Cones gave building lots to the various congregations and then gave large donations to help erect the church buildings. Parsonages were provided without cost, and supplementary operating funds were given to each congregation. <sup>64</sup>

Houses that were built for Revolution employees during the early years of the twentieth century were remodelled in the late 1940's and later sold to individual homeowners. <sup>65</sup>

In the last year (1947) of Revolution Cotton Mills' operation as an individual mill, a Rayon Plant was added to the complex. <sup>66</sup>

On December 12, 1947, a special stockholders' meeting of Revolution Cotton Mills approved a merger agreement which was to become affective on January 1, 1948. According to the agreement, on the date of merger Proximity Manufacturing Company and Revolution Cotton Mills were to become a single corporation -- the Proximity Manufacturing Company -- the name of which was then to be changed to Cone Mills Corporation. <sup>67</sup>

Probably the most significant physical alteration to the Revolution plant subsequent to the 1948 merger has been the enclosure of the windows and monitors and the brick veneering of the majority of exterior wall surfaces during the 1960s to accommodate air conditioning. <sup>68</sup>

For approximately thirty years after the merger, the Revolution plant continued to produce flannel goods. In the late 1970s, however, with new government standards concerning flammability, the company elected to get out of the flannel business. The plant was then converted to corduroy production, with a large export market, but when this market deteriorated, Cone Mills shut down the Revolution plant for good, in February 1982. <sup>69</sup>

While the industrial history of Revolution Cotton Mills has come to a close, new life awaits the mill buildings. The partnership of Revolution Associates I plans to rehabilitate the complex according to the Secretary of the Interior's guidelines, converting it to use as apartments and offices.

The structure, of course, is closely related to the surrounding environment. Archeological remains, which may be present, can provide information valuable to the understanding and interpretation of the structure. Information concerning use patterns and industrial history, as well as structural remains are often evident only in the archeological record. Therefore, archeological remains may well be an important component of the significance of the structure.



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Footnotes --

<sup>1</sup> Minute Book (Bound Book, 2/10/1899 - 8/3/1936, Archives, Cone Mills Corp., Greensboro), p. 88. Hereinafter referred to as Minutes, Bound Book.

<sup>2</sup> Minutes, Bound Book, p. 127.

<sup>3</sup> Minutes, Bound Book, p. 141.

<sup>4</sup> Samuel A. Ashe, Stephen B. Weeks, & Charles L. VanNoppen, eds., Biographical History of North Carolina, Vol. III (Greensboro: Charles L. VanNoppen, 1917), pp. 110, 119. Hereinafter referred to as Ashe, Biographical History.

<sup>5</sup> A Member of the Staff, "The Cone Mills in North Carolina," Cotton, October, 1938, p. 110. Hereinafter referred to as "Cone Mills."

<sup>6</sup> "Cone Mills," p. 110.

<sup>7</sup> Ashe, Biographical History, p. 111.

<sup>8</sup> Ashe, Biographical History, p. 111.

<sup>9</sup> Ashe, Biographical History, pp. 111-112.

<sup>10</sup> Typed summary of Revolution Cotton Mills records, prepared by Neil Koonce, Senior Attorney for Cone Mills.

<sup>11</sup> "The Gate City" Greensboro: Commercial, Financial Manufacturing, Special Souvenir Number, 1910, a supplement of The Daily Record (Greensboro: J.M. Reece & Co., 1910), p. 23. Hereinafter referred to as "The Gate City."

<sup>12</sup> Ethel Stephens Arnett and Walter Clinton Jackson, Greensboro North Carolina, the County Seat of Guilford (Chapel Hill: The University of North Carolina Press, 1955), pp. 172-173.

<sup>13</sup> "Cone Mills," pp. 111-112.

<sup>14</sup> J.C. Hemphill, ed., Men of Mark in South Carolina, Vol. IV (Washington: Men of Mark Publishing Company, 1909), n.p.

<sup>15</sup> Tim Pittman, "Revolution Mill Had a Revolutionary Past," Greensboro Daily News, August 20, 1983, p. 1A. Hereinafter referred to as Pittman, "Revolution Mill."

<sup>16</sup> "Cone Mills," p. 112.

<sup>17</sup> Minutes, Bound Book, p.1.

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- 18 Minutes, Bound Book, p.2.
- 19 Minutes, Bound Book, p.3.
- 20 Manufacturers' Record (Baltimore), February 17, 1899, p.58.
- 21 Manufacturers' Record, February 24, 1899, p. 73.
- 22 Manufacturers' Record, February 24, 1899, p. 73.
- 23 Manufacturers' Record, March 3, 1899, p. 91.
- 24 Manufacturers' Record, March 10, 1899, p. 107.
- 25 Manufacturers' Record, March 17, 1899, p. 131.
- 26 Manufacturers' Record, September 27, 1900, p. 161.
- 27 "Revolution Cotton Mills. Manufacturers of Cotton Flannels, Near Greensboro." Clipping in Cone Mills File #1, Greensboro Public Library, source and date unknown. The suggested date of 1901 was derived from the fact that the description lists Solomon Frank as vice president. According to the minute books of Revolution Cotton Mills, Frank was vice president from 1899 through 1901. The mill wasn't completed until the fall of 1900, and the first sentence, "The Revolution Cotton Mills was instituted herein 1900," is in the past tense, leaving one to presume that the description could only have been written in 1901.
- 28 Peter R. Kaplan, The Historic Architecture of Cabarrus County, North Carolina (Concord: Historic Cabarrus, Inc., 1981), p. 28, hereinafter referred to as Kaplan, Cabarrus County; D. A. Tompkins, Cotton Mill, Commercial Features (Charlotte: D.A. Tompkins, 1899), pp. 158, 162, hereinafter referred to as Tompkins, Cotton Mill.
- 29 Sanborn Map Company, "Insurance Maps of Greensboro, Guilford County, North Carolina," (New York: Sanborn Map Company, 1913), sheet 40. Hereinafter referred to as Sanborn Map with year and sheet number.
- 30 Tompkins, Cotton Mill, pp. 159, 162, 164, 165.
- 31 Tompkins, Cotton Mill, pp. 163, 167, 168.
- 32 Sanborn Map, 1913, sheet 40.
- 33 Tompkins, Cotton Mill, p. 166; Kaplan, Cabarrus County, pp. 28, 30.
- 34 This photograph of unidentified source probably dates from between the 1904 and the 1909 periods of construction (additions), judging from the buildings shown.
- 35 Manufacturers' Record, February 22, 1900, p. 72.



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36 Manufacturers' Record, February 22, 1900, p. 72-73.

37 Ruth Little-Stokes, An Inventory of Historic Architecture, Greensboro, N.C. (City of Greensboro and N.C. Department of Cultural Resources, Division of Archives and History, 1976), p.4.

38 Sallie W. Stockard, The History of Guilford County, North Carolina (Knoxville: Gaut-Ogden Co., 1902), pp. 74-75.

39 Minutes, Bound Book, p. 29.

40 Minutes, Bound Book, p. 67.

41 Sanborn Map, 1913, sheet 40.

42 F.J. Blackwood, "E. Sternberger," xerox from an unidentified Greensboro newspaper, probably 1924, copy in the Sternberger Family file, Greensboro Public Library; "Cone Mills," p. 112.

43 "The Gate City", p. 23.

44 Minutes, Bound Book, p. 81.

45 Sanborn Map, 1925, sheet 68.

46 "Cone Mills," p. 112.

47 Minutes, Bound Book, p. 88.

48 History of North Carolina, Vol.IV: North Carolina Biography, by Special Staff of Writers (Chicago: The Lewis Publishing Co., 1919), p. 17.

49 Minutes, Bound Book, p. 93.

50 Minutes, Bound Book, p. 127.

51 Minutes, Bound Book, p. 124-125, 141.

52 Ethel Stephens Arnett, For Whom Our Public Schools Were Named, Greensboro, North Carolina (Greensboro: Piedmont Press, 1973), pp. 323, 325, 327 and 329.

53 Minutes: Bound Book, Post Binder (1/1937 - 12/1945), Ring Binder (1/1946 - 12/1947).

54 "S. Sternberger Dies in Hospital," Greensboro Daily News, July 20, 1964.

55 Minutes, Bound Book, p. 141.

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56 Minutes, Bound Book, Post Binder.

57 History of North Carolina, Vol. IV: Family and Personal History (New York: Lewis Publishing Co. Inc, 1956), p. 741.

58 Minutes: Post Binder and Ring Binder.

59 "Cone Mills Corporation 'Revolution Division' Greensboro, N.C.", a map surveyed on November 20, 1953 by L.W. Saunders (Boston: Associated Factory Mutual Fire Insurance Companies, Engineering Division).

60 "Cone Mills," p. 112.

61 Manufacturers' Record, March 17, 1899, p. 131.

62 "The Gate City," p. 23.

63 "Cone Mills," p. 116.

64 "Cone Mills," p. 114-116.

65 Pittman, "Revolution Mill," p. A6.

66 "Revolution Division Has Served Textile Industry for Half a Century," Textorian, December 16, 1949.

67 Minutes: Ring Binder, pp. 247-248, 257-258.

68 Information from Cone Mills Engineering Department, Greensboro.

69 Interview by Laura A. Phillips with Frank Fary, Manager, Public Relations, Cone Mills Corp., Greensboro, August 20, 1983; Pittman, "Revolution Mill," p. A6.



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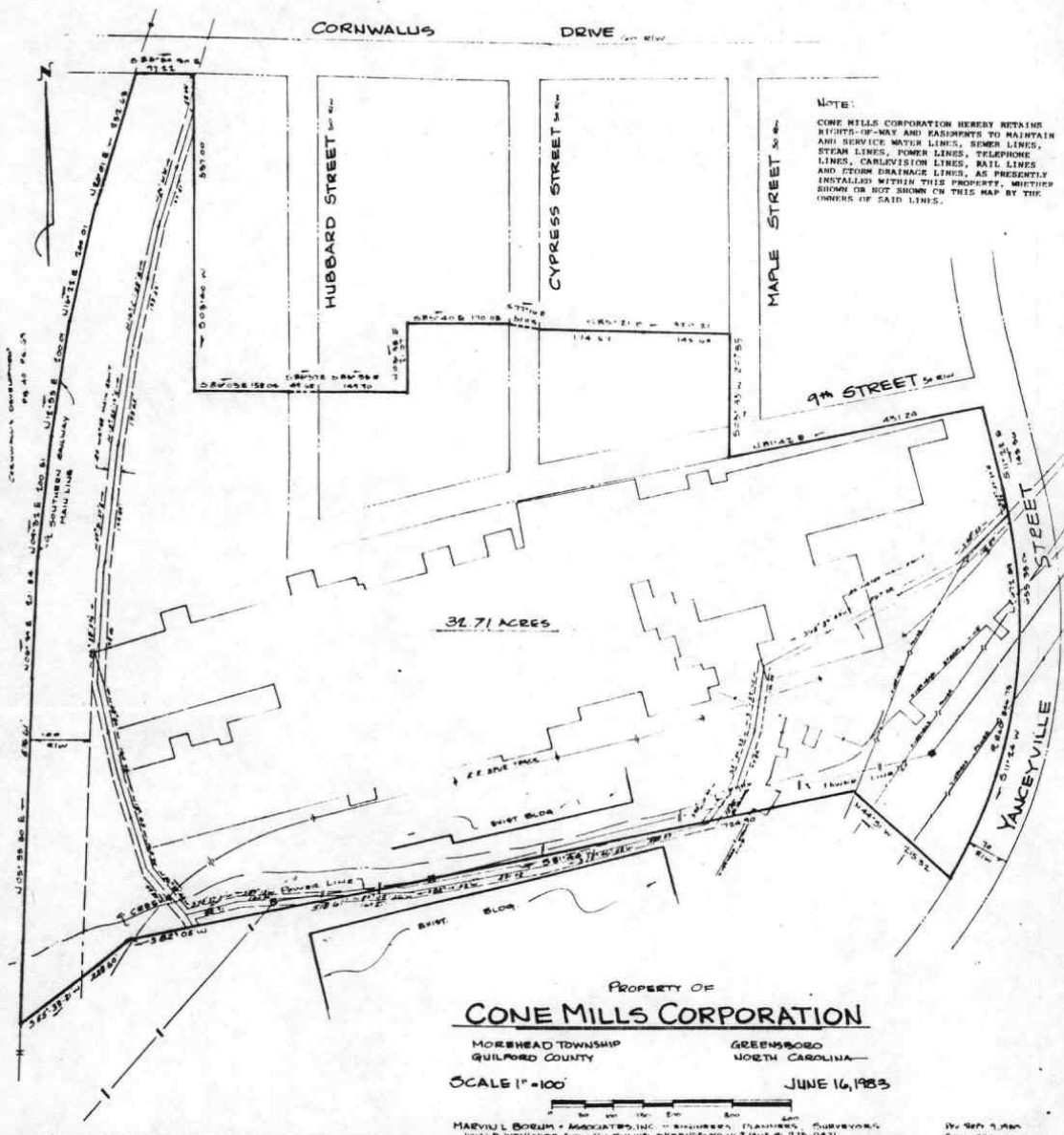
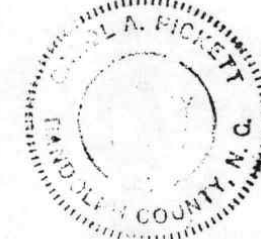
10. (Verbal Boundary Description/Justification)

yard and a parking lot are included in the property, which constitutes the area to be developed by the present owners for adaptive re-use as apartments and offices. (The former mill housing, now in private ownership, and the cotton warehouses and 1947 rayon plant south of N. Buffalo Creek which remain in the ownership of Cone Mills Corporation are not included in the nomination).

I, Marvin L. Borum, certify that under my direction and supervision this map was drawn from an actual survey by me, deed description recorded in Book , Page ; that the error of closure as calculated by latitudes and departure is 1:10,000; that this map was prepared in accordance with G.S. 47-30 as amended, that the development is within the Corporate Limits of the City of Greensboro. Witness my hand and seal this 9th day of Sept, 1983.

Marvin L. Borum Surveyor  
Subscribed and sworn to before me this day of , 1983.

Carol A. Pickett Notary Public  
My commission expires 12-15-86





NATIONAL REGISTER OF HISTORIC PLACES  
EVALUATION/RETURN SHEET

Revolution Cotton Mills  
Guilford County  
NORTH CAROLINA

Working No. JAN 30 1984

Fed. Reg. Date: 2-5-85

Date Due: 3/1/84 - 3/15/84

Action: ☒ ACCEPT 3/1/84

☐ RETURN

☐ REJECT

Entered in the  
National Register

Federal Agency: \_\_\_\_\_

- ☐ resubmission  
☐ nomination by person or local government  
☐ owner objection  
☐ appeal

Substantive Review: ☐ sample ☐ request ☐ appeal ☐ NR decision

Reviewer's comments:

Recom./Criteria \_\_\_\_\_

Reviewer \_\_\_\_\_

Discipline \_\_\_\_\_

Date \_\_\_\_\_

\_\_\_\_\_ see continuation sheet

Nomination returned for: \_\_\_\_\_ technical corrections cited below  
\_\_\_\_\_ substantive reasons discussed below

1. Name

2. Location

3. Classification

Category	Ownership	Status	Present Use
	Public Acquisition	Accessible	

4. Owner of Property

5. Location of Legal Description

6. Representation in Existing Surveys

Has this property been determined eligible? ☐ yes ☐ no

7. Description

Condition

- |                                    |                                       |
|------------------------------------|---------------------------------------|
| <input type="checkbox"/> excellent | <input type="checkbox"/> deteriorated |
| <input type="checkbox"/> good      | <input type="checkbox"/> ruins        |
| <input type="checkbox"/> fair      | <input type="checkbox"/> unexposed    |

Check one

- ☐ unaltered  
☐ altered

Check one

- ☐ original site  
☐ moved date \_\_\_\_\_

Describe the present and original (if known) physical appearance

- ☐ summary paragraph  
☐ completeness  
☐ clarity  
☐ alterations/integrity  
☐ dates  
☐ boundary selection

---

## 8. Significance

Period      Areas of Significance—Check and justify below

Specific dates

Builder/Architect

Statement of Significance (*in one paragraph*)

- ☐ summary paragraph
- ☐ completeness
- ☐ clarity
- ☐ applicable criteria
- ☐ justification of areas checked
- ☐ relating significance to the resource
- ☐ context
- ☐ relationship of integrity to significance
- ☐ justification of exception
- ☐ other

---

## 9. Major Bibliographical References

---

## 10. Geographical Data

Acreage of nominated property \_\_\_\_\_

Quadrangle name \_\_\_\_\_

UTM References \_\_\_\_\_

Verbal boundary description and justification \_\_\_\_\_

---

## 11. Form Prepared By

---

## 12. State Historic Preservation Officer Certification

The evaluated significance of this property within the state is:

\_\_\_\_\_ national      \_\_\_\_\_ state      \_\_\_\_\_ local

State Historic Preservation Officer signature

title

date

---

## 13. Other

- ☐ Maps
- ☐ Photographs
- ☐ Other

Questions concerning this nomination may be directed to \_\_\_\_\_

Signed \_\_\_\_\_ Date \_\_\_\_\_ Phone: \_\_\_\_\_

*Comments for any item may be continued on an attached sheet*





NEGATIVE NUMBER N.83-8-1466

PHOTOGRAPHER LAURA A.W. PHILLIPS

PHOTO DATE 9/2/83

SUBJECT REVOLUTION COTTON MILLS, BLDGS. 17 & 19  
GUILFORD Co.





NEGATIVE NUMBER N.83-8-1443

PHOTOGRAPHER LAURAW. PHILLIPS

PHOTO DATE 9/2/83

SUBJECT REVOLUTION COTTON MILLS, BLDG. #19

Guilford Co.





NEGATIVE NUMBER N. 83-8-1479

PHOTOGRAPHER LAURA A.W. PHILLIPS

PHOTO DATE 9/2/83

SUBJECT Revolution Cotton Mills, Bldgs. #18 & 19

Guilford Co.





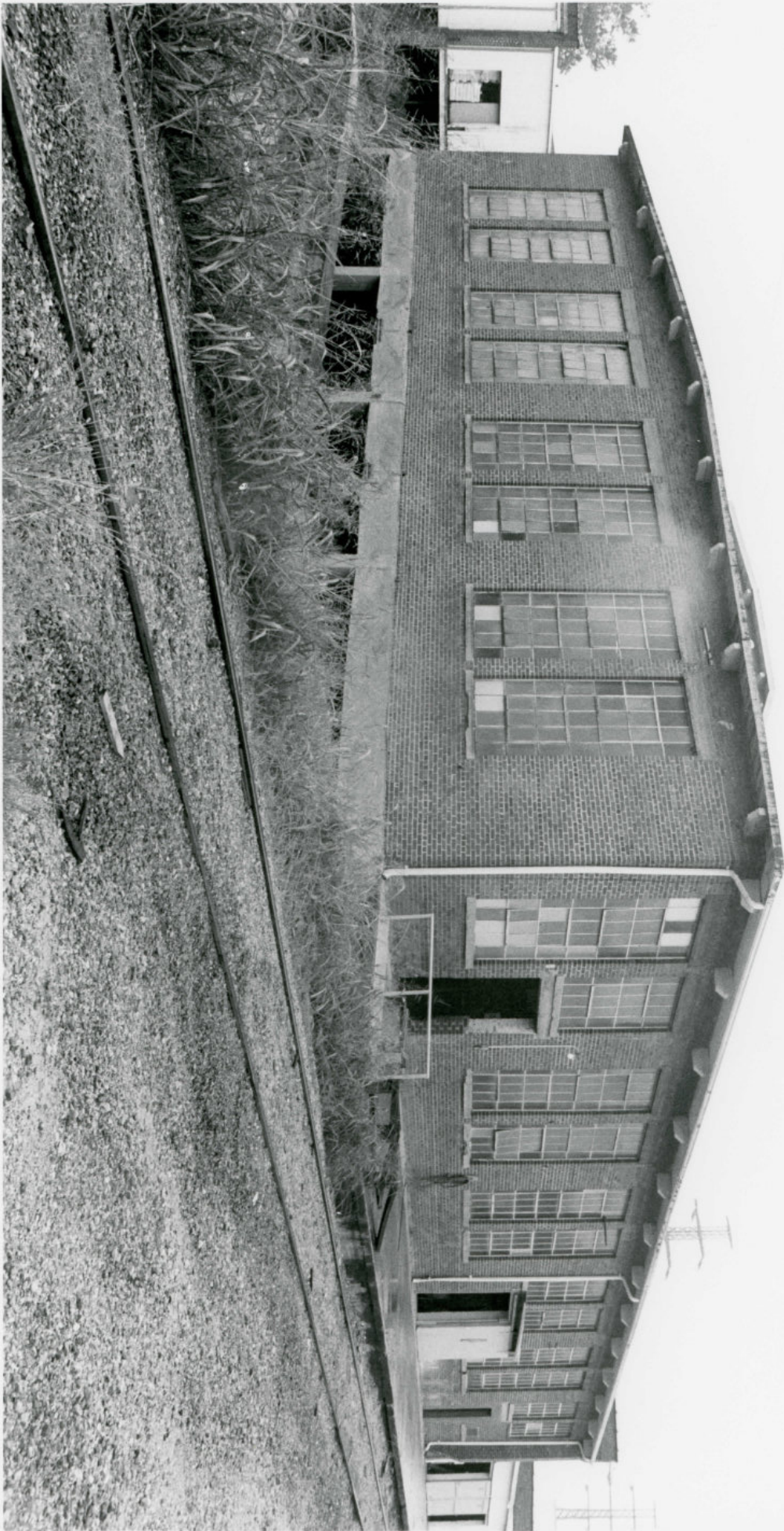
NEGATIVE NUMBER N. 83-8-1446

PHOTOGRAPHER LAURA A.W. PHILLIPS

PHOTO DATE 9/2/83

SUBJECT Revolution Cotton Mills, Bldg. #17  
Guilford Co.





NEGATIVE NUMBER N.83-8-1449

PHOTOGRAPHER LAURA A.W. PHILLIPS

PHOTO DATE 9/2/83

SUBJECT REVOLUTION COTTON MILLS, BLDG. #21  
Guilford Co.





NEGATIVE NUMBER N.83-8-1475

PHOTOGRAPHER LAURA A.W. PHILLIPS

PHOTO DATE 9/2/83

SUBJECT REVOLUTION Cotton Mills, Bldg. #25

Guilford Co





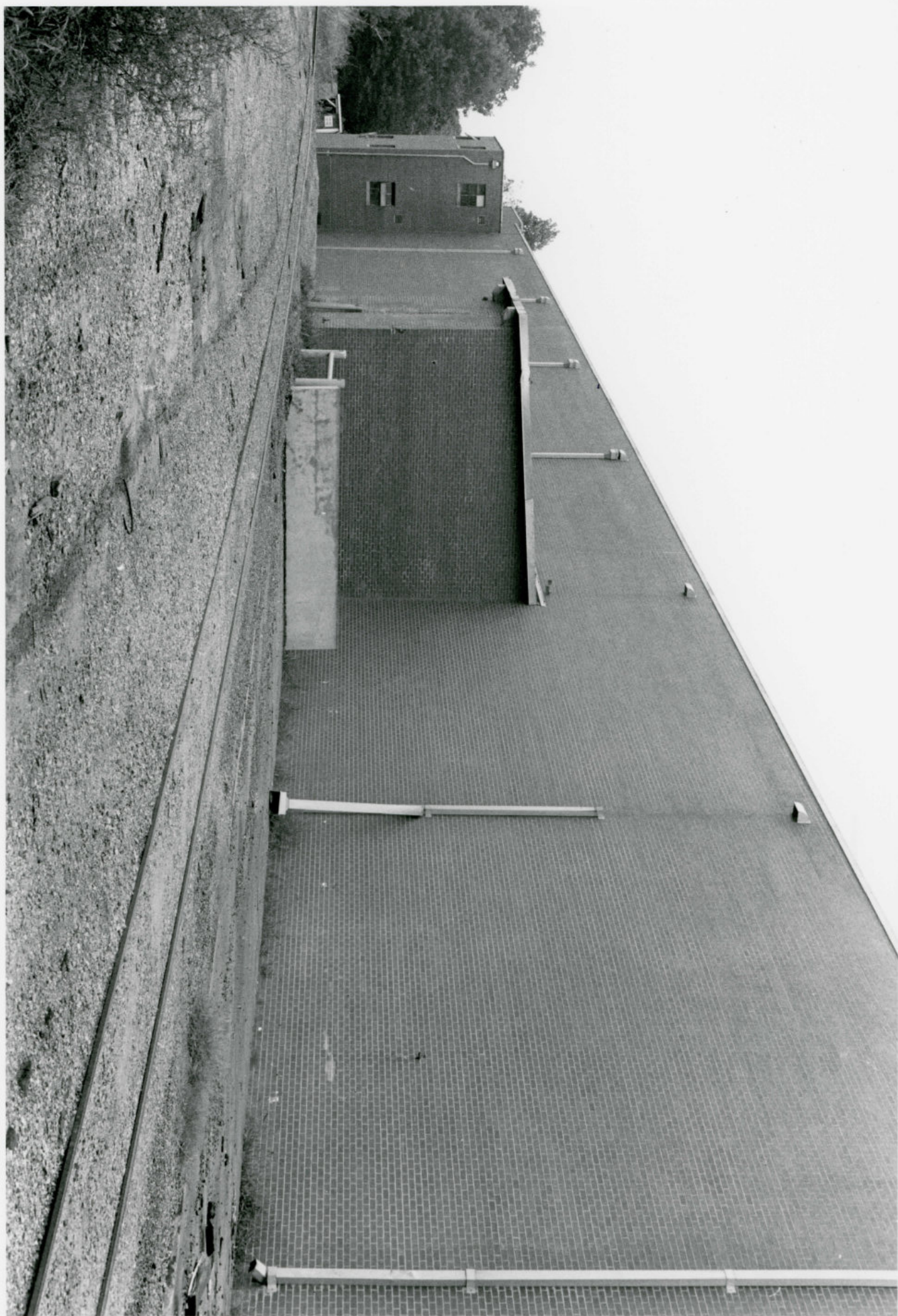
NEGATIVE NUMBER N. 83-8-1473

PHOTOGRAPHER LAURA A. W. PHILLIPS

PHOTO DATE 9/2/83

SUBJECT Revolution Cotton Mills, N. side  
Guilford Co.





NEGATIVE NUMBER N.83-8-1453

PHOTOGRAPHER LAURA A.W. PHILLIPS

PHOTO DATE 9/2/83

SUBJECT Revolution Cotton Mills, Bldg. #15

Guilford Co





NEGATIVE NUMBER N.83-8-1454

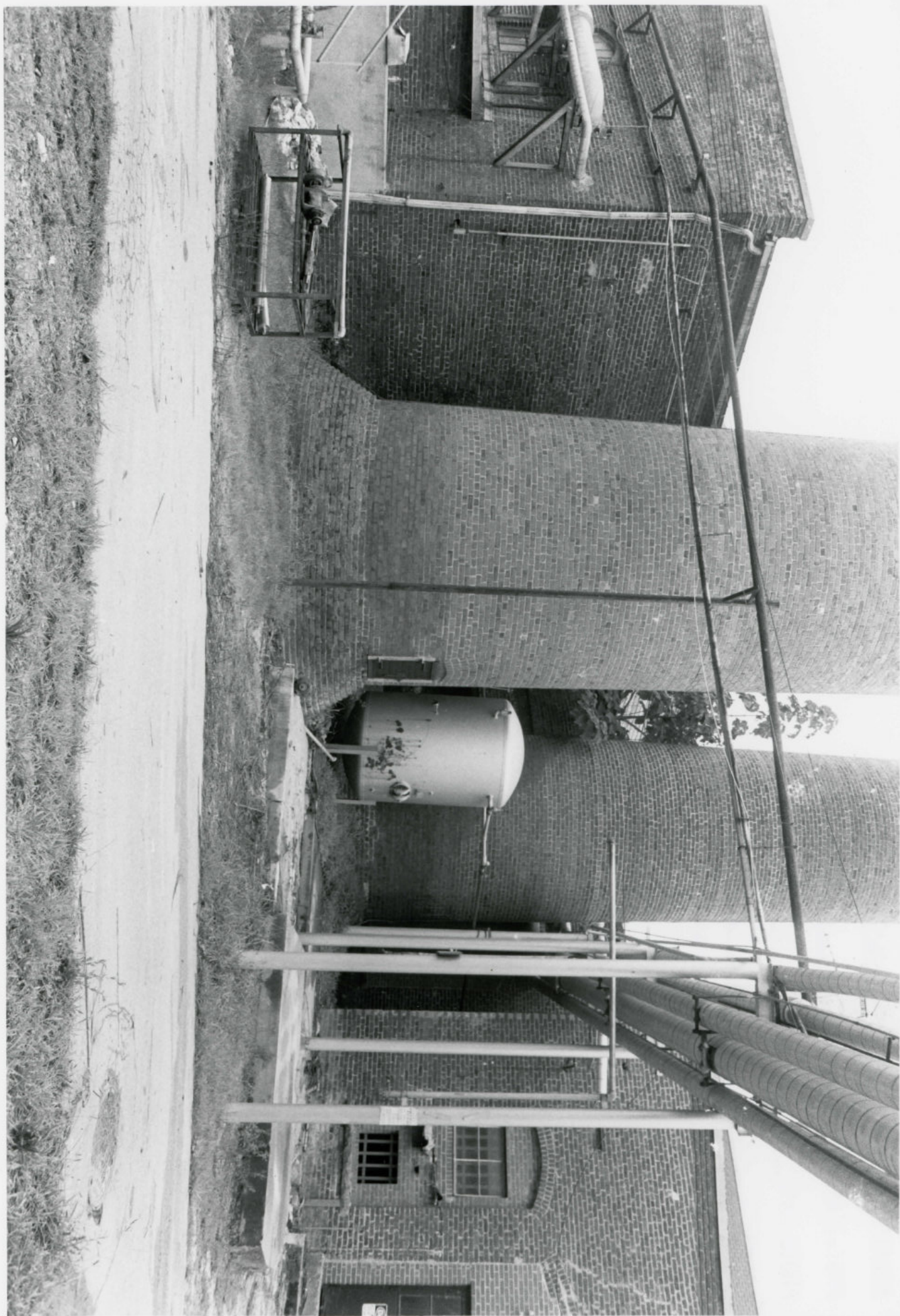
PHOTOGRAPHER LAURA A.W. PHILLIPS

PHOTO DATE 9/2/83

SUBJECT Revolution Cotton Mills, Bldg. #15

Guilford Co.





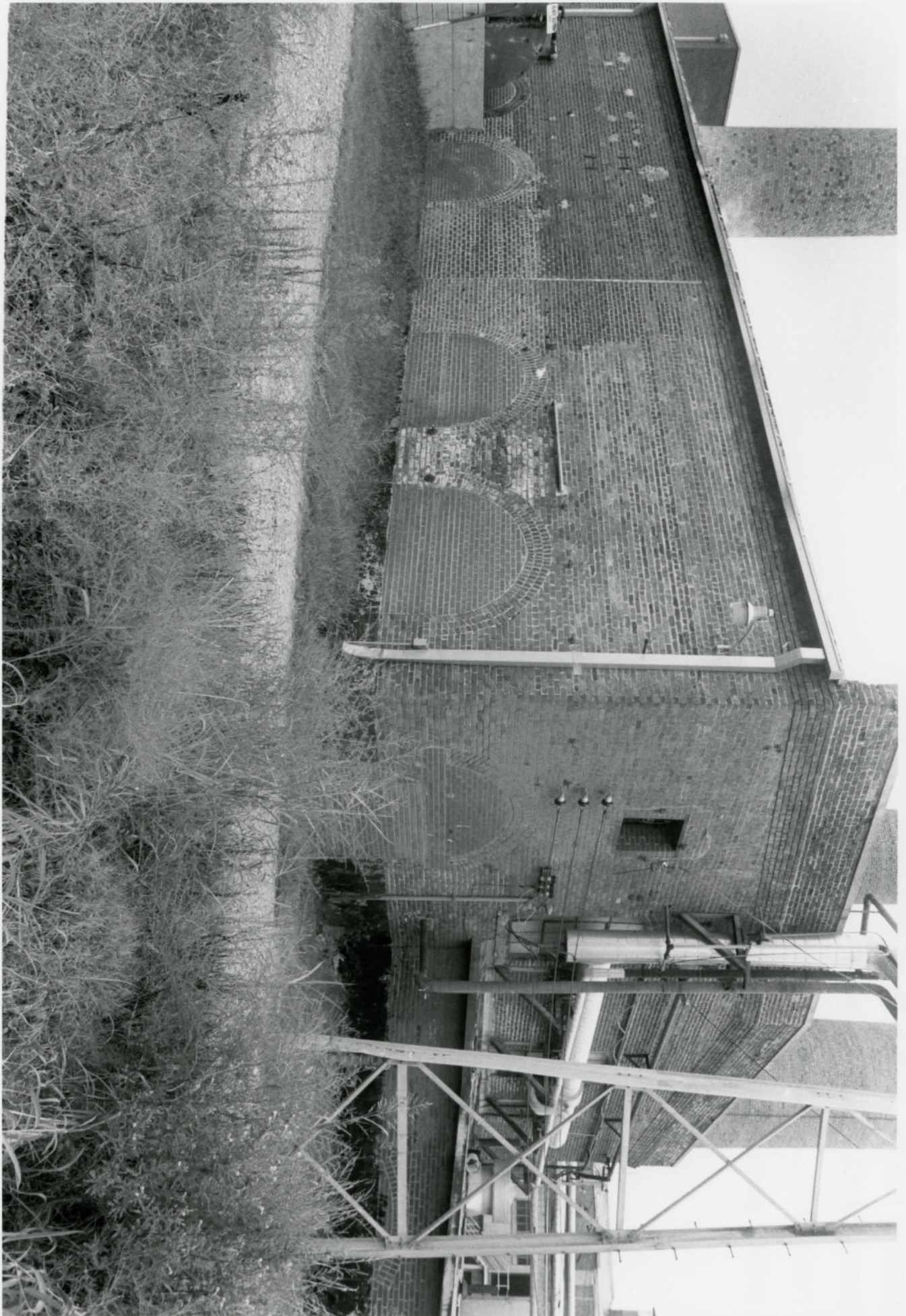
NEGATIVE NUMBER N.83-8-1464

PHOTOGRAPHER LUKE A.W. PHILLIPS

PHOTO DATE 9/2/83

SUBJECT REVELATION COTTON MILLS, BLDG. #4  
Guilford Co.





NEGATIVE NUMBER N.83-8-1460

PHOTOGRAPHER LAURA A.W. PHILLIPS

PHOTO DATE 9/2/83

SUBJECT REVOLUTION COTTON MILLS, Bldg. #4  
Guilford Co.





NEGATIVE NUMBER N.83-8-1450

PHOTOGRAPHER LAURA A.W. PHILLIPS

PHOTO DATE 9/2/83

SUBJECT REVOLUTION COTTON MILLS, ALDYS. # 5 & 8

Guilford Co.





NEGATIVE NUMBER N. 83-8-1470

PHOTOGRAPHER LAURA A.W. PHILLIPS

PHOTO DATE 9/2/83

SUBJECT REVOLUTION COTTON MILLS, BLDG. #6 INT.  
GUILFORD Co.





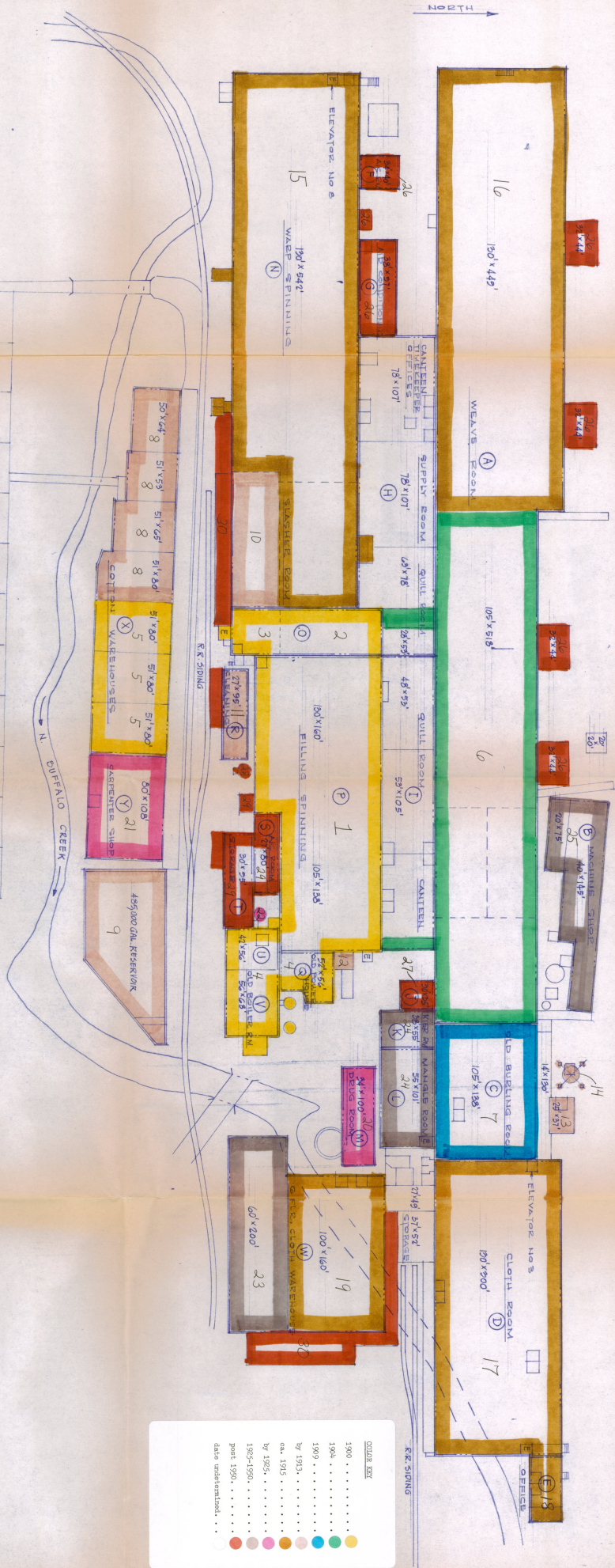
NEGATIVE NUMBER N. 83-8-1456

PHOTOGRAPHER LAURA A.W. PHILLIPS

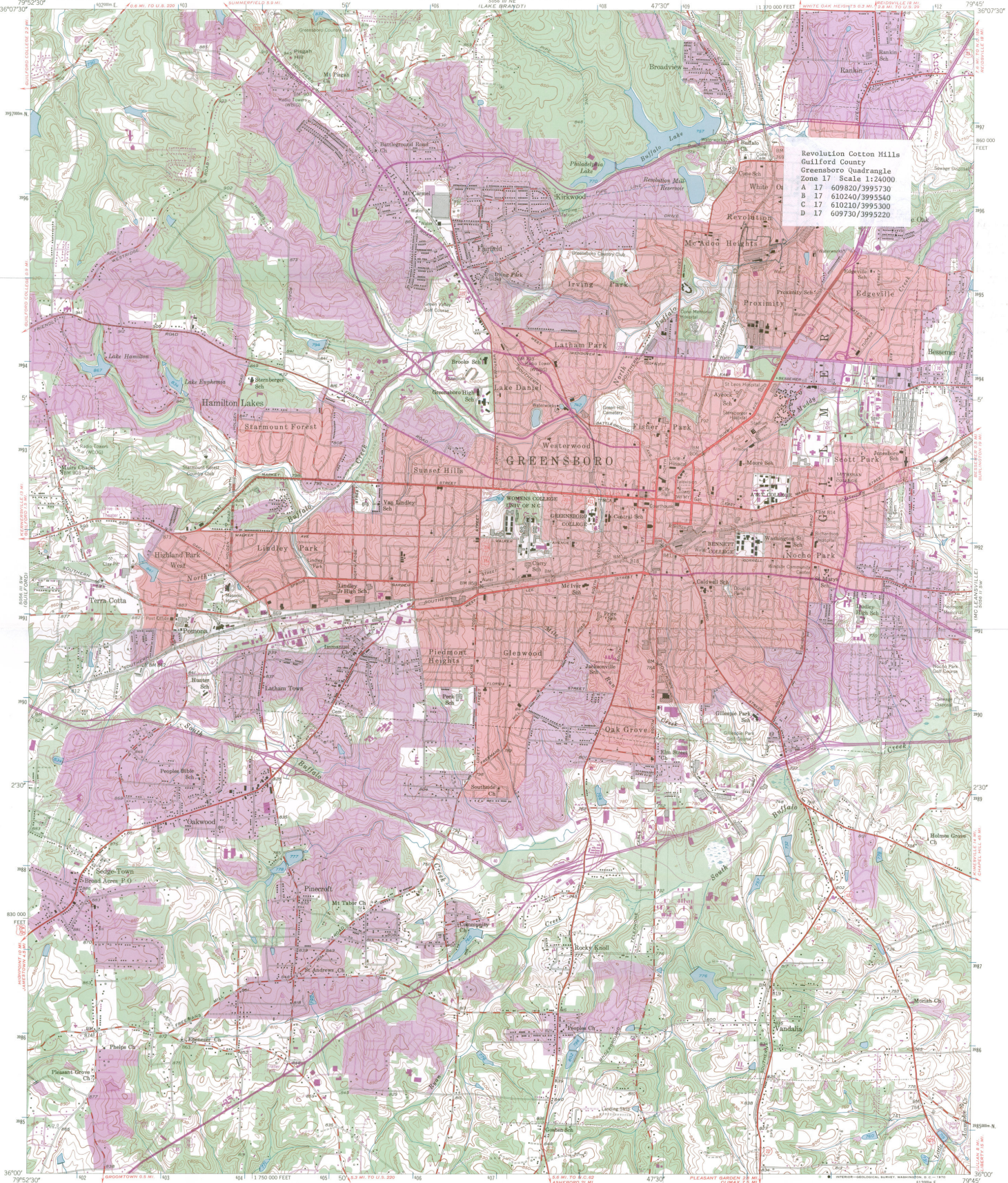
PHOTO DATE 9/2/83

SUBJECT Revolution Cotton Mills, Bldg. #1  
Guilford Co.



[illegible]

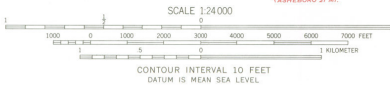
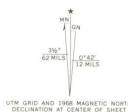




Revolution Cotton Hills  
Guilford County  
Greensboro Quadrangle  
Zone 17 Scale 1:24000  
A 17 609820/3995730  
B 17 610240/3995540  
C 17 610210/3995300  
D 17 609730/3995220

Maped, edited, and published by the Geological Survey

Control by USGS, USCGS and  
North Carolina Geologic Survey  
Culture and drainage in part compiled from  
aerial photographs taken 1948.  
Topography by plane-table surveys 1951  
Polyconic projection, 1927 North American datum  
10,000-foot grid based on North Carolina coordinate system  
1000-meter Universal Transverse Mercator grid ticks,  
Zone 17, shown in blue  
Red tint indicates area in which only landmark buildings are shown  
Revisions shown in purple compiled from aerial photographs  
taken 1968. This information not field checked  
Purple tint indicates extension of urban areas



GREENSBORO, N.C.  
N360-W7945/7.5

1951  
PHOTOREVISED 1968  
AMS 5056 III SE-SERIES Y842



NORTH  
CAROLINA  
DEPARTMENT  
OF  
CULTURAL  
RESOURCES

Raleigh,  
North Carolina  
27611

Division of  
Archives and History  
William S. Price, Jr., Director

Sara W. Hodgkins,  
Secretary  
James B. Hunt, Jr.,  
Governor



January 18, 1984

Mr. Jerry L. Rogers, Keeper  
National Register of Historic Places  
U. S. Department of the Interior  
National Park Service  
1100 L Street, N. W.  
Washington, D. C. 20240

Dear Mr. Rogers:

Enclosed is the nomination for Revolution Cotton Mills in Guilford County, North Carolina, to be entered in the National Register of Historic Places.

We trust that you will find this nomination in order. If there are any questions, please call us.

Sincerely yours,

William S. Price, Jr.  
State Historic Preservation Officer

WSP/bch

Enclosures

cc: Honorable John East  
Honorable Jesse Helms  
Honorable C. Robin Britt

Rec'd  
JAN 30 1984

Old Heritage  
OPAQUE  
Dund

**Historic Preservation Certification Application**

**Part I, II, II Amendment, and III**



RECEIVED JUL 12 2019

AUG 01 2019

NPS Project Number

400004

Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form shall prevail. A copy of this form will be provided to the Internal Revenue Service.

1. Property Name Mill House - Cloth WarehouseStreet 2005 Yanceyville StreetCity GreensboroCounty GuilfordState NCZip 27405Name of Historic District Revolution Cotton Mills

☒ National Register district ☐ certified state or local district ☐ potential district

## 2. Nature of request (check only one box)

- ☒ certification that the building contributes to the significance of the above-named historic district or National Register property for rehabilitation purposes.  
☐ certification that the building contributes to the significance of the above-named historic district for a charitable contribution for conservation purposes.  
☐ certification that the building does not contribute to the significance of the above-named district.  
☐ preliminary determination for individual listing in the National Register.  
☐ preliminary determination that a building located within a potential historic district contributes to the significance of the district.  
☐ preliminary determination that a building outside the period or area of significance contributes to the significance of the district.

## 3. Project Contact (if different from applicant)

Name G. Edwin Belk FAIACompany Belk ArchitectureStreet 735 Ninth StreetCity DurhamState NCZip 27705Telephone (919) 286-2573Email Address eddie@belkarchitecture.net

## 4. Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable] (1) ☒ I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or (2) ☐ if I am not the fee simple owner of the above-described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011). For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.

Name Brika Eklund, Real Estate DirectorSignature [Signature]Date 6/1/2019Applicant Entity SELF MILL HOUSE, LLC

SSN \_\_\_\_\_

or TIN 47-1971159Street 301 W. Main St.City DurhamState NCZip 27701Telephone (919) 956-4454Email Address brika.eklund@self-help.org

## NPS Official Use Only

The National Park Service has reviewed the Historic Preservation Certification Application - Part 1 for the above-named property and has determined that the property:

- ☒ contributes to the significance of the above-named district or National Register property and is a "certified historic structure" for rehabilitation purposes.  
☐ contributes to the significance of the above-named district and is a "certified historic structure" for a charitable contribution for conservation purposes.  
☐ does not contribute to the significance of the above-named district.

## Preliminary Determinations:

- ☐ appears to meet the National Register Criteria for Evaluation and will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer according to the procedures set forth in 36 CFR Part 60.  
☐ does not appear to meet the National Register Criteria for Evaluation and will likely not be listed in the National Register.  
☐ appears to contribute to the significance of a potential historic district, which will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer.  
☐ appears to contribute to the significance of a registered historic district if the period or area of significance as documented in the National Register nomination or district documentation on file with the NPS is expanded by the State Historic Preservation Officer.  
☐ does not appear to qualify as a certified historic structure.

Date

9/10/2019

National Park Service Authorized Signature

[Signature]☒ NPS comments attached

**HISTORIC PRESERVATION CERTIFICATION APPLICATION  
NATIONAL PARK SERVICE  
COMMENTS**

Property Name Mill House – Cloth Warehouse Project Number 40664  
Property Address 2005 Yanceyville Street, Greensboro, NC

These comments respond to the Historic Preservation Certification Application –

☒ Part 1 ☐ Part 2 ☐ Part 3 ☐ Amendment

The site map provided with Part 1 of the application indicates that the project will only include the 1915 portion of the building. Please note that the scope of review must include the entire building – the 1915 portion, the circa 1930 addition, and any other additions and alterations – as well as the site and environment surrounding the building.

The National Park Service has reviewed and approved the submitted application noted above.

9/16/2019  
Date

James L. Parker  
National Park Service Signature





UNITED STATES DEPARTMENT OF THE INTERIOR  
NATIONAL PARK SERVICE

OMB Approved  
No. 1024-0009  
Form 10-168  
Rev. 2014

**HISTORIC PRESERVATION CERTIFICATION APPLICATION**  
**PART 1 – EVALUATION OF SIGNIFICANCE**

NPS Project Number

**Instructions:** This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

**1. Property Name** Mill House - Cloth Warehouse

Street 2005 Yanceyville Street

City Greensboro County Guilford State NC Zip 27405

Name of Historic District Revolution Cotton Mills

☒ National Register district ☐ certified state or local district ☐ potential district

**2. Nature of request** (check only one box)

- ☒ certification that the building contributes to the significance of the above-named historic district or National Register property for rehabilitation purposes.  
☐ certification that the building contributes to the significance of the above-named historic district for a charitable contribution for conservation purposes.  
☐ certification that the building does not contribute to the significance of the above-named district.  
☐ preliminary determination for individual listing in the National Register.  
☐ preliminary determination that a building located within a potential historic district contributes to the significance of the district.  
☐ preliminary determination that a building outside the period or area of significance contributes to the significance of the district.

**3. Project Contact** (if different from applicant)

Name G. Edwin Belk FAIA Company Belk Architecture

Street 735 Ninth Street City Durham State NC

Zip 27705 Telephone (919) 286-2575 Email Address eddie@belkarchitecture.net

**4. Applicant**

I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable] (1) ☐ I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or (2) ☐ if I am not the fee simple owner of the above-described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011). For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.

Name Brika Eklund, Real Estate Director Signature \_\_\_\_\_ Date \_\_\_\_\_

Applicant Entity Historic Revolution, LLC SSN \_\_\_\_\_ or TIN 90-0882582

Street 301 W. Main St. City Durham State NC

Zip 27701 Telephone (919) 956-4454 Email Address Tucker.Bartlett@self-help.org

**NPS Official Use Only**

The National Park Service has reviewed the Historic Preservation Certification Application – Part 1 for the above-named property and has determined that the property:

- ☐ contributes to the significance of the above-named district or National Register property and is a "certified historic structure" for rehabilitation purposes.  
☐ contributes to the significance of the above-named district and is a "certified historic structure" for a charitable contribution for conservation purposes.  
☐ does not contribute to the significance of the above-named district.

Preliminary Determinations:

- ☐ appears to meet the National Register Criteria for Evaluation and will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer according to the procedures set forth in 36 CFR Part 60.  
☐ does not appear to meet the National Register Criteria for Evaluation and will likely not be listed in the National Register.  
☐ appears to contribute to the significance of a potential historic district, which will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer.  
☐ appears to contribute to the significance of a registered historic district if the period or area of significance as documented in the National Register nomination or district documentation on file with the NPS is expanded by the State Historic Preservation Officer.  
☐ does not appear to qualify as a certified historic structure.

Date

National Park Service Authorized Signature

☐ NPS comments attached

# HISTORIC PRESERVATION CERTIFICATION APPLICATION

## PART 1 – EVALUATION OF SIGNIFICANCE

Property name	Mill House – Cloth Warehouse	NPS Project Number	
Property address	2005 Yanceyville Street	Greensboro	Guilford NC 27405

### 5. Description of physical appearance

Revolution Mill was listed on the National Register of Historic places as an individual historic property in March 1984. Modifications were made to the property between 1984 and December 2002 by previous owners. In 2012 the property was purchased by the current owner. Modifications have been made by the current owner to correct previous owners not having maintained State & Federal Historic guidelines on several of the buildings on the property. Those building modifications have been approved and completed, placing this historic campus back on track. The final phase of this campus is addressing the vacant Cloth Warehouse by restoring the shell building.

The main warehouse building, built in circa 1915, is a 5-story structure of poured in-place concrete with brick infill. This building measures approximately 160' (east-west) X 100' (north-south). The typical floor to floor height (floor 2-5) is approximately 10'. The first floor, floor to floor height is approximately 17'-4". The overall building height is approximately 71' at the elevator equipment room roof. The primary facade (East) features 5-part massing of concrete structure and brick infill. In circa 1930 a warehouse addition was added. During this time, an infill floor was added as the second floor making this a 6 story building. The infill floor (2nd floor) is of steel structure and wood floor decking. Most floors contain non-original, plywood or gyp. interior partitions from its most recent use, a self storage warehouse. The building is in generally good repair.

The original windows of the 1915 warehouse vary in size and configuration. The windows of the top 4 floors of the East (front) facade features a variety of steel window sizes and configurations. These are mostly comprised of 6'-1" wide X 6'-9" tall, 20 lite windows. The upper floors of the southern most bay has 6'-1" wide X 3'-5", 10 lite windows. The top floor however, has a 6'-1" wide X 6'-9" tall, 20 lite window on this southern most bay. In 1915, the first floor of the East facade was comprised of 6'-1" wide X 13'-6" tall 40 lite (two story) steel windows. In c.1930, when the 6 story warehouse addition was built & the infill second floor was added to the 1915 warehouse the two story windows were modified into two separate 6'-1" wide X 5'-2", 15 lite windows. The top four floors of the North Facade of the building are mostly comprised of 6'-1" wide X 6'-9" tall, 20 lite windows. Similar to the East (front) facade, the original first floor was comprised of 6'-1" wide X 13'-6" tall 40 lite (two story) steel windows but, since have been modified into two separate windows. Approximately 1/3 of the windows on the North facade are currently bricked in. The upper four floors of the West facade is mostly comprised of 6'-1" wide X 6'-9" tall, 20 lite windows. The three middle floors of the Northern most bay of the West facade show no evidence of having windows. The First floor windows of the West facade, similar to the East and North facade's, were originally comprised of 6'-1" wide X 13'-6" tall 40 lite (two story) steel windows & have since been modified into two separate 6'-1" wide X 5'-2", 15 lite windows. The windows of the South elevation of the 1915 warehouse have all been bricked in but, show evidence of the original first floor, two story windows. Generally, throughout all window size & lite count differences, every other window features an operable hopper within the mutin grid. The original first floor, two story windows appear to have had two hoppers per window. Window lites are 1'-2" wide X 1'-8" tall.

The 1930 warehouse addition building is a 6-story brick pier foundation, steel structure, wood floor & ceiling deck with a brick clad veneer. This building measures approximately 202' (east-west) X 61' (north-south). The typical floor to floor height is approximately 10'. The sixth floor is approximately 7' at the lowest point (South). The overall building height is approximately 63' to the parapet at the NW corner of the building. The primary facade (East) features 6-part massing of brick pilasters. A masonite seethed ramp in the center of the building runs from the first to the second floor. A metal chute favoring the Center, North side of the building penetrates the second to the sixth floor. Most floors contain plywood or gyp. interior partitions from its most recent use, a self storage warehouse. The building is in generally good repair.

The original windows of the 1930 warehouse addition are comprised of mainly two sizes/ configurations. The primary (East) and rear (West) facade's are steel framed, 6'-0" wide X 5'-1" tall, 15 lite windows. The South elevation features 6'-0" wide X 3'-4" tall, 10 lite windows. Both sizes are adorned with operable hoppers within the mutin grid. Window lites are 1'-2" wide X 1'-8" tall.

Date(s) of building(s) 1915, 1930

Date(s) of alteration(s) See Above



**HISTORIC PRESERVATION CERTIFICATION APPLICATION**  
**PART 1 – EVALUATION OF SIGNIFICANCE**

Property name Mill House - Cloth Warehouse NPS Project Number \_\_\_\_\_

Property address 2005 Yanceyville Street Greensboro Guilford NC 27405

Has building been moved? ☒ no ☐ yes, specify date \_\_\_\_\_

---

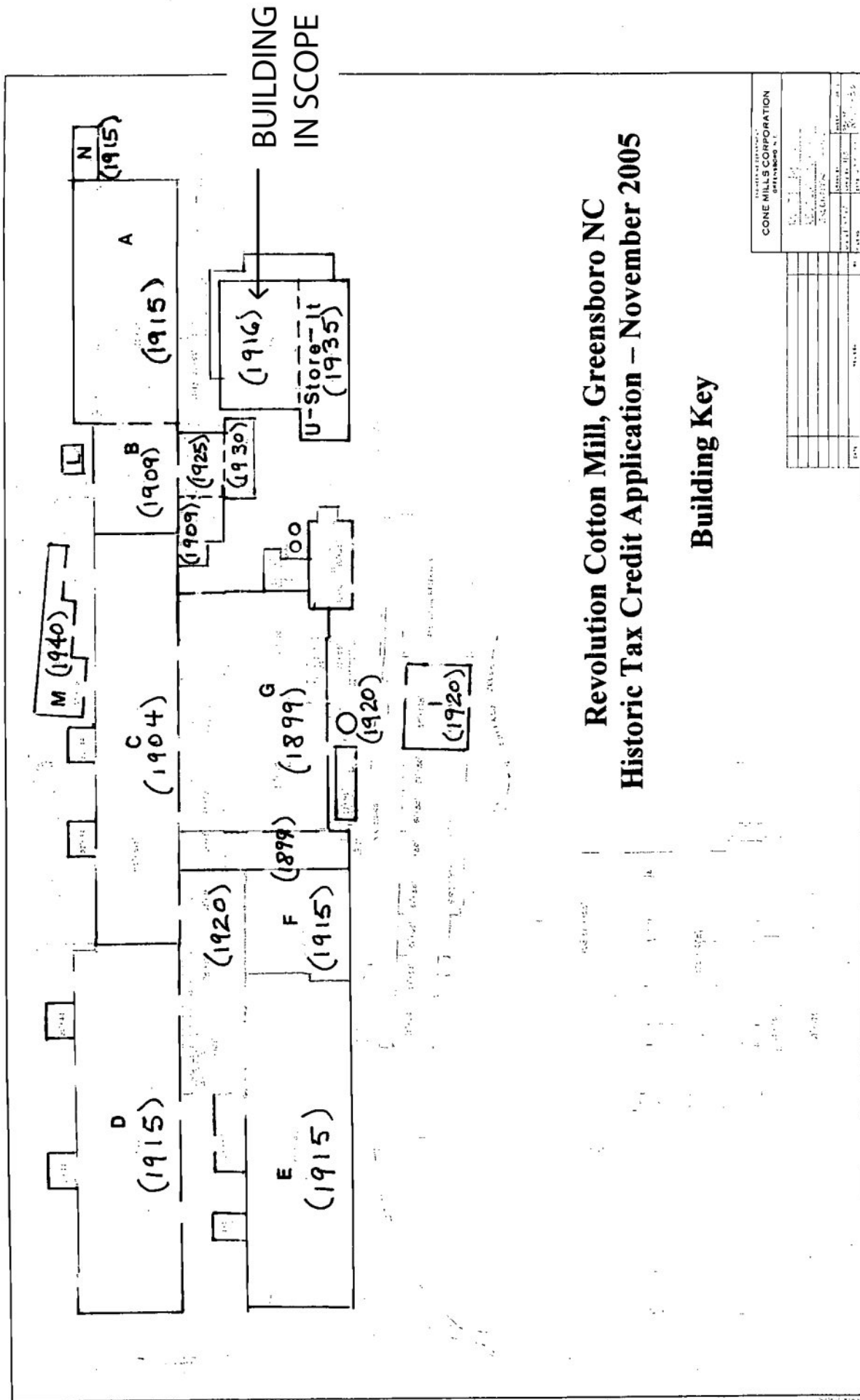
**6. Statement of significance**

Significance was determined in 1984 when the property was placed on the National Register of Historic Places.

---

**7. Photographs and maps.** Send photographs and map with application.

---





UNITED STATES DEPARTMENT OF THE INTERIOR  
NATIONAL PARK SERVICE

OMB Approved  
No. 1024-0009  
Form 10-168  
Rev. 2014



HISTORIC PRESERVATION CERTIFICATION APPLICATION  
PART 2 - DESCRIPTION OF REHABILITATION

NPS Project Number

40664

Instructions: This form must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

1. Property Name Mill House - Cloth Warehouse

Street 2005 Yanceyville Street

City Greensboro

County Guilford

State NC

Zip 27405

Name of Historic District \_\_\_\_\_

☒ Listed individually in the National Register of Historic Places; date of listing September 1983

☐ Located in a Registered Historic District; name of district \_\_\_\_\_

☒ Part 1 - Evaluation of Significance submitted?

Date submitted November 2005

Date of certification \_\_\_\_\_

2. Project Data

Date of building 1915 - 1930

Estimated rehabilitation costs (QRE) \$40,000,000

Number of buildings in project 1

Floor area before / after rehabilitation 166,739 / 148,245 sq ft

Start date (estimated) 06/01/2019

Use(s) before / after rehabilitation Warehouse / Retl/Comm

Completion date (estimated) 06/01/2020

Number of housing units before / after rehabilitation 0 / 0

Number of phases in project 2

Number of low-moderate income housing units before / after rehabilitation 0 / 0

3. Project Contact (if different from applicant)

Name G. Edwin Belk FAIA

Company Belk Architecture

Street 735 Ninth Street

City Durham

State NC

Zip 27705

Telephone (919) 286-2575

Email Address eddie@belkarchitecture.net

4. Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable] (1) ☒ I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or (2) ☐ if I am not the fee simple owner of the above-described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011). For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.

Name Brika Eklund, Real Estate Director

Signature [Signature]

Date 6/1/2019

Applicant Entity SHVF Mill House, LLC

SSN \_\_\_\_\_

or TIN 47-1971159

Street 301 W. Main St.

City Durham

State NC

Zip 27701

Telephone (919) 956-4454

Email Address brika eklund@self-help.org

☒ Applicant, SSN, or TIN has changed since previously submitted application.

NPS Official Use Only

The National Park Service has reviewed the Historic Preservation Certification Application - Part 2 for the above-named property and has determined that:

☐ the rehabilitation described herein is consistent with the historic character of the property and, where applicable, with the district in which it is located and that the project meets the Secretary of the Interior's Standards for Rehabilitation. This letter is a preliminary determination only, since a formal certification of rehabilitation can be issued only to the owner of a "certified historic structure" after rehabilitation work is complete.

☒ the rehabilitation or proposed rehabilitation will meet the Secretary of the Interior's Standards for Rehabilitation if the attached conditions are met.

☐ the rehabilitation described herein is not consistent with the historic character of the property or the district in which it is located and that the project does not meet the Secretary of the Interior's Standards for Rehabilitation.

Date

National Park Service Authorized Signature

☒ NPS conditions or comments attached

**HISTORIC PRESERVATION CERTIFICATION APPLICATION  
NATIONAL PARK SERVICE  
CONDITIONS**

Property Name Mill House-Cloth Warehouse Project Number 40664  
Property Address 2005 Yanceyville Street, Greensboro, Guilford County, North Carolina

**The rehabilitation of this property as described in the Historic Preservation Certification Application will meet the Secretary of the Interior's Standards for Rehabilitation provided that the following condition(s) is/are met:**

1. The cleaning process proposed for the exterior and interior masonry must not damage or substantially alter the physical characteristics of the masonry surfaces. Good quality overall and close-up color photographs of the masonry **both** before and after cleaning must be submitted with the Request for Certification of Completed Work.
2. Replacement windows must match the appearance, size, design, proportions, and profiles of the existing windows and must have clear glazing. In order to ensure the proposed windows meet the Standards, detailed dimensioned drawings of both the existing and any proposed replacement windows, showing them in relationship to the wall assembly must be submitted for review. Drawings should include elevations and sill, jamb, head, meeting rail, and muntin details. Simulated divided light windows must have muntin grids installed on the exterior, interior, and between the insulated glass.
3. The existing windows on the first and second levels must be retained and repaired, and shall not be replaced with new windows extending from the first to the second levels, as proposed.
4. This approval does not extend to Phase 2 work not submitted, details of which have not been submitted for review and approval to the State Historic Preservation Office and the National Park Service. Federal regulations governing this program require evaluation of the entire project. This approval may be superseded if it is found that the overall rehabilitation does not meet the Secretary's Standards. Please submit for review the information regarding any additional work as soon as available to ensure conformance of the overall project with the *Secretary's Standards*.

Photographs documenting that the conditions have been met must be submitted with the Request for Certification of Completed Work.

Any substantive change in the work as described in the application should be brought to the attention of the State Historic Preservation Office and the National Park Service in writing, using the Amendment/Advisory Determination form, prior to execution to ensure that the proposed project continues to meet the Standards.

July 26, 2019

Date

State Historic Preservation Office Signature

**The National Park Service has determined that this project will meet the Secretary of the Interior Standards for Rehabilitation if the condition(s) listed above are met.**

10/22/2019

Date

National Park Service Signature



## HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 2 – DESCRIPTION OF REHABILITATION

Property name Mill House - Cloth Warehouse NPS Project Number \_\_\_\_\_  
Property address 2005 Yanceyville Street Greensboro Guilford NC 27405

**5. Detailed description of rehabilitation work** Use this page to describe all work or create a comparable format with this information.  
Number items consecutively to describe all work, including building exterior and interior, additions, site work, landscaping, and new construction.

<b>Number</b> 1	<b>Feature</b> 1915 Main Warehouse Building	<b>Date of Feature</b> 1915
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### Describe existing feature and its condition

The main warehouse building is a 5-story structure of poured in-place concrete with brick infill. This building measures approximately 160' (east-west) X 100' (north-south). The typical floor to floor height (floor 2-5) is approximately 10'. The first floor, floor to floor height is approximately 17'-4". The overall building height is approximately 71' at the elevator equipment room roof. The primary facade (East) features 5-part massing of concrete structure and brick infill. In c1930 a warehouse addition was added (see feature #3). During this time, an infill floor was added as the second floor making this a 6 story building. The infill floor (2nd floor) is of steel structure and wood floor decking. Most floors contain non-original, plywood or gyp. interior partitions from its most recent use, a self storage warehouse. The building is in generally good repair.

Photo numbers 1,4-19,15-16,20,23-25,27-31

Drawing numbers x100-x107,x500-x502,A100-A107,A500-502

### Describe work and impact on feature

All non-original, interior, non-load bearing partitions are to be removed. The proposed interior construction will be placed in a manner to expose the existing structure and full window configurations wherever possible. The existing concrete floors, where left exposed, will be gently scraped, cleaned and sealed to function as the primary finished floor. Building interior surfaces will be sandblasted using the gentlest means possible per the NPS Preservation Brief #8. A small test area will be cleaned for NC SHPO review and approval and retained as a reference sample for the duration of the project. Bricked-in and otherwise obscured window openings will be reopened. Damaged or missing brick masonry will be repaired or replaced with materials to match. Missing and degraded mortar will be re-pointed with mortar of matching color, texture, strength and joint profile of the existing. General exterior cleaning will be performed using mild detergents. The wood infill floor (2nd floor) will be removed taking advantage of the generous 1st floor ceiling height of the original 1915 5 story warehouse. About 100sf of this floor will remain for access to the 2nd floor of the 1930 warehouse addition, as the stair and elevator is within the main warehouse. Both stair towers have winder stairs & are not code compliant. New code compliant stairs will be added within the existing stair towers. A new elevator will be installed within the existing East elevator shaft. The West elevator was modified (time unknown) with elevator pit structure beneath the building structure, which housed the elevator equipment. This structure is damaged and no longer functional. The shaft openings have all been blocked in. We intend to remove the West elevator shaft and elevator equipment structure beneath.

<b>Number</b> 2	<b>Feature</b> Original Windows - 1915 Warehouse	<b>Date of Feature</b> 1915
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### Describe existing feature and its condition

The original windows of the 1915 warehouse vary in size and configuration. The windows of the top 4 floors of the East (front) facade features a variety of steel window sizes and configurations. These are mostly comprised of 6'-1" wide X 6'-9" tall, 20 lite windows. The upper floors of the southern most bay has 6'-1" wide X 3'-5", 10 lite windows. The top floor however, has a 6'-1" wide X 6'-9" tall, 20 lite window on this southern most bay. In 1915, the first floor of the East facade was comprised of 6'-1" wide X 13'-6" tall 40 lite (two story) steel windows. In c.1930, when the 6 story warehouse addition was built & the infill second floor was added to the 1915 warehouse the two story windows were modified into two separate 6'-1" wide X 5'-2", 15 lite windows. The top four floors of the North Facade of the building are mostly comprised of 6'-1" wide X 6'-9" tall, 20 lite windows. Similar to the East (front) facade, the original first floor was comprised of 6'-1" wide X 13'-6" tall 40 lite (two story) steel windows but, since have been modified into two

## HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 2 – DESCRIPTION OF REHABILITATION

separate windows. Approximately 1/3 of the windows on the North facade are currently bricked in. The upper four floors of the West facade is mostly comprised of 6'-1"wide X 6'-9"tall, 20 lite windows. The three middle floors of the Northern most bay of the West facade show no evidence of having windows. The First floor windows of the West facade, similar to the East and North facade's, were originally comprised of 6'-1"wide X 13'-6"tall 40 lite(two story) steel windows & have since been modified into two separate 6'-1"wide X 5'-2", 15 lite windows. The windows of the South elevation of the 1915 warehouse have all been bricked in but, show evidence of the original first floor, two story windows.

Generally, throughout all window size & lite count differences, every other window features an operable hopper within the mutin grid. The original first floor, two story windows appear to have had two hoppers per window. Window lites are 1'-2" wide X 1'-8" tall.

Photo numbers 1,4-19,15-16,20,23-25,27-31

Drawing numbers x100-x107,x500-x502,A100-A107,A500-502

### Describe work and impact on feature

All window openings will be reopened / restored, unless noted otherwise on the drawings. Where feasible, the existing windows will be repaired (making use of salvaged, matching materials), re-glazed with clear insulated glass, cleaned, repainted and set back in-place. Where the amount of damage is prohibitive or the historic window is missing, replica windows will be produced to match the historic condition. Historic windows beyond repair will be salvaged for use in repairing other windows throughout the project. All new and repaired windows will conform with current code.

Number	3	Feature	1930 Warehouse Addition	Date of Feature	1930
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### Describe existing feature and its condition

The 1930 warehouse addition building is a 6-story brick pier foundation, steel structure, wood floor & ceiling deck with a brick clad veneer. This building measures approximately 202'(east-west) X 61'(north-south). The typical floor to floor height is approximately 10'. The sixth floor is approximately 7' at the lowest point (South). The overall building height is approximately 63' to the parapet at the NW corner of the building. The primary facade (East) features 6-part massing of brick pilasters. A masonite seethed ramp in the center of the building runs from the first to the second floor. A metal chute favoring the Center, North side of the building penetrates the second to the sixth floor. Most floors contain plywood or gyp. interior partitions from its most recent use, a self storage warehouse. The building is in generally good repair.

Photo numbers 1-3,14,16-17,22,26,32

Drawing numbers x100-x107,x500-x503,A100-A107,A500-503

### Describe work and impact on feature

All interior non original, non-load bearing partitions are to be removed. The proposed interior construction will be placed in a manner to expose the existing structure and full window configurations wherever possible. Building interior surfaces will be sandblasted using the gentlest means possible per the NPS Preservation Brief #8. A small test area will be cleaned for NC SHPO review and approval and retained as a reference sample for the duration of the project. Bricked-in and otherwise obscured window openings will be reopened. Damaged or missing brick masonry will be repaired or replaced with materials to match. Missing and degraded mortar will be re-pointed with mortar of matching color, texture, strength and joint profile of the existing. General exterior cleaning will be performed using mild detergents.

Number	4	Feature	Original Windows Warehouse Addtn.	Date of Feature	1930
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### Describe existing feature and its condition

The original windows of the 1930 warehouse addition are comprised of mainly two sizes/ configurations. The primary (East) and rear (West) facade's are steel framed, 6'-0"wide X 5'-1" tall, 15 lite windows. The South elevation features 6'-0" wide X 3'-4" tall, 10 lite windows. Both sizes are adorned with operable hoppers within the mutin grid. Window lites are 1'-2" wide X 1'-8" tall.



## HISTORIC PRESERVATION CERTIFICATION APPLICATION

### PART 2 – DESCRIPTION OF REHABILITATION

Photo numbers 1-3,14,16-17,22,26,32

Drawing numbers x100-x107,x500-x503,A100-A107,A500-503

#### Describe work and impact on feature

11 window openings will be reopened / restored, unless noted otherwise on the drawings. Where feasible, the existing windows will be repaired (making use of salvaged, matching materials), re-glazed with clear insulated glass, cleaned, repainted and set back in-place. Where the amount of damage is prohibitive or the historic window is missing, replica windows will be produced to match the historic condition. Historic windows beyond repair will be salvaged for use in repairing other windows throughout the project. All new and repaired windows will conform with current code.

Number	Feature	Date of Feature
--------	---------	-----------------

Describe existing feature and its condition

Photo numbers \_\_\_\_\_

Drawing numbers \_\_\_\_\_

#### Describe work and impact on feature

Number	Feature	Date of Feature
--------	---------	-----------------

Describe existing feature and its condition

Photo numbers \_\_\_\_\_

Drawing numbers \_\_\_\_\_

#### Describe work and impact on feature

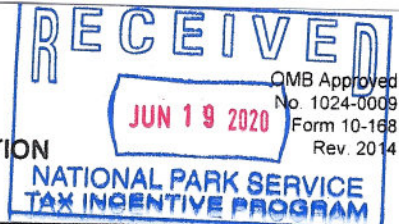
Add Item



UNITED STATES DEPARTMENT OF THE INTERIOR  
NATIONAL PARK SERVICE

HISTORIC PRESERVATION CERTIFICATION APPLICATION  
AMENDMENT / ADVISORY DETERMINATION

RECEIVED JUN 08 2020



NPS Project Number  
40664

Instructions: This page must bear the applicant's original signature and must be dated.

1. Property name Mill House - Cloth Warehouse

Property address 2005 Yanceyville Street Greensboro, NC 27405

2. This form ☐ includes additional information requested by NPS for an application currently on hold.  
☐ updates applicant or contact information.  
☒ amends a previously submitted ☐ Part 1 ☒ Part 2 ☐ Part 3 application.  
☐ requests an advisory determination that phase \_\_\_\_\_ of \_\_\_\_\_ phases of this rehabilitation project meets the Secretary of the Interior's Standards for Rehabilitation. Phase completion date \_\_\_\_\_  
Estimated rehabilitation costs of phase (QRE) \_\_\_\_\_

Summarize information here; continue on following page if necessary.

This amendment is specific to adding a covered pedestrian bridge connecting the third floor of Mill House to the second floor of Building 1250 (bldg A). There is a metal frame remnant bail chute on the North elevation of Mill House, from the third floor connecting to building 1250 closer to the East of the building (photo's 5, & 11-13). Originally, there was another bail chute farther to the west of this same elevation that was removed prior to our project (photo's 6-7). The proposed covered pedestrian bridge is one window bay West of the original chute (photo's 6-7). This pedestrian bridge is required to meet an exit requirement identified by the City of Greensboro Building Inspections/Fire Marshal's office. North Buffalo Creek flows beneath Mill House. The one hundred year (FEMA 1%) flood elevation rises approx. 2'-0" above the buildings first floor. Flood protection measures will be put in place and unfortunately during flooding conditions you cannot exit this building without the proposed upper floor connecting bridge.

3. Project Contact (if different from applicant)

Name G. Edwin Belk FAIA Company Belk Architecture  
Street 735 Ninth Street City Durham State NC  
Zip 27705 Telephone (919) 286-2575 Email Address eddie@belkarchitecture.net

4. Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable] (1) ☐ I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or (2) ☐ if I am not the fee simple owner of the above-described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011). For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.

Name Brika Eklund, Real Estate Director Signature [Signature] Date 5/22/20  
Applicant Entity SHVF Mill House, LLC SSN \_\_\_\_\_ or TIN 47-1971159  
Street 301 W. Main St. City Durham State \_\_\_\_\_  
Zip 27701 Telephone (919) 956-4454 Email Address brika.eklund@self-help.org

☐ Applicant, SSN, or TIN has changed since previously submitted application.

NPS Official Use Only

The National Park Service has reviewed this amendment to the Historic Preservation Certification Application and has determined that the amendment:

- ☒ meets the Secretary of the Interior's Standards for Rehabilitation.  
☐ will meet the Secretary of the Interior's Standard for Rehabilitation if the attached conditions are met.  
☐ does not meet the Secretary of the Interior's Standards for Rehabilitation.  
☐ updates the information on file and does not affect the certification.

Advisory Determinations:

- ☐ The National Park Service has determined that the work completed in this phase is consistent with the Secretary of the Interior's Standards for Rehabilitation. This determination is advisory only. A formal certification of rehabilitation can be issued only after all rehabilitation work and any associated site work or new construction have been completed. This approval could be superseded if it is found that the overall rehabilitation does not meet the Secretary's Standards. A copy of this form will be provided to the Internal Revenue Service.

Date 8/28/2020

National Park Service Authorized Signature [Signature]

☐ NPS conditions or comments attached



RECEIVED OCT 23 2020



HISTORIC PRESERVATION CERTIFICATION APPLICATION  
AMENDMENT / ADVISORY DETERMINATION



Instructions: This page must bear the applicant's original signature and must be dated.

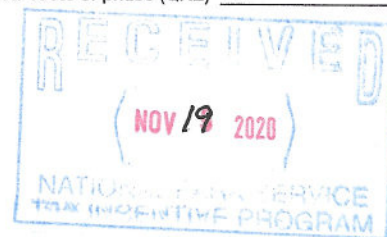
NPS Project Number  
40664

1. Property Name Mill House - Cloth Warehouse

Property Address 2005 Yanceyville Street Greensboro, NC 27405

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☐ updates applicant or contact information.  
☒ amends a previously submitted ☐ Part 1 ☒ Part 2 ☐ Part 3 application.  
☐ requests an advisory determination that phase \_\_\_\_\_ of \_\_\_\_\_ phases of this rehabilitation meets the Secretary of the Interior's Standards for Rehabilitation. Phase completion date \_\_\_\_\_ Estimated rehabilitation costs of phase (QRE) \_\_\_\_\_

Summarize information here; continue on following page if necessary.  
Please see attached summary.



3. Project Contact (if different from applicant)

Name G. Edwin Belk FAIA Company Belk Architecture  
Street 735 Ninth Street City Durham State NC  
Zip 27705 Telephone (919) 286-2575 Email Address eddie@belkarchitecture.net

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☐ if I am not the fee simple owner of the above described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011).

For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.

Name Brika Eklund, Real Estate Director Signature (Sign in ink) [Signature] Date 10/21/20  
Applicant Entity SHVF Mill House, LLC SSN \_\_\_\_\_ or TIN 47-1971159  
Street 301 W. Main St. City Durham State NC  
Zip 27701 Telephone (919) 956-4454 Email Address brika eklund@self-help.org

☐ Applicant, SSN, or TIN has changed since previously submitted application.

NPS Official Use Only

The National Park Service has reviewed this amendment to the Historic Preservation Certification Application and has determined that the amendment:

- ☒ meets the Secretary of the Interior's Standards for Rehabilitation.  
☐ will meet the Secretary of the Interior's Standard for Rehabilitation if the attached conditions are met.  
☐ does not meet the Secretary of the Interior's Standards for Rehabilitation.  
☐ updates the information on file and does not affect the certification.

Advisory Determinations:

- ☐ The National Park Service has determined that the work completed in this phase is consistent with the Secretary of the Interior's Standards for Rehabilitation. This determination is advisory only. A formal certification of rehabilitation can be issued only after all rehabilitation work and any associated site work or new construction have been completed. This approval could be superseded if it is found that the overall rehabilitation does not meet the Secretary's Standards. A copy of this form will be provided to the Internal Revenue Service.

Date 3/23/2021 National Park Service Authorized Signature (Sign in ink) [Signature]

☒ NPS conditions or comments attached

RECORDS RETENTION - PERMANENT. Transfer all permanent records to NARA 15 years after closure. (NPS Records Schedule, Resource Management and Lands (Item 1.A.2) (N1-79-08-1)).



**HISTORIC PRESERVATION CERTIFICATION APPLICATION  
NATIONAL PARK SERVICE  
COMMENTS**

Historic Property Name Mill House – Cloth Warehouse Project Number 40664  
Property Address, City, State 2005 Yanceyville Street, Greensboro, NC

These comments respond to the Historic Preservation Certification Application –

☐ Part 1 ☐ Part 2 ☐ Part 3 ☒ Amendment 2

The NPS recommends relocating the warehouse chute to the new atrium space rather than selecting a location in a different building on the campus.

The National Park Service has reviewed and approved the application noted above.

3/23/2021

Date

James L. Park

National Park Service Signature





**North Carolina Department of Natural and Cultural Resources  
State Historic Preservation Office**

Ramona M. Bartos, Administrator

Governor Roy Cooper  
Secretary Susi H. Hamilton

Office of Archives and History  
Deputy Secretary Kevin Cherry

November 12, 2020

Ms. Jennifer Parker  
National Park Service  
Technical Preservation Services  
1849 C Street NW, Mail Stop 7243  
Washington, DC 20240

Re: Historic Preservation Certification Submission  
Mill House-Cloth Warehouse  
2005 Yanceyville Street, Greensboro, Guilford County, North Carolina  
NPS #40664

Dear Ms. Parker:

Enclosed is an Amendment to the Historic Preservation Certification Application, Part 2—Description of Rehabilitation for the Mill House-Cloth Warehouse in Greensboro, that has been submitted by Brita Eklund, SHVF Mill House, LLC.

Staff members of this office have reviewed the information provided in the Amendment. It is the opinion of this office that the work in the amendment appears to meet the *Secretary of the Interior's Standards for Rehabilitation*.

We request that your office review the Amendment and notify the owner and this office of your determination. If you have questions concerning the above comments, please contact Tim E. Simmons, Senior Preservation Architect/Income-producing Tax Credit Coordinator, at 919-814-6585 or [tim.simmons@ncdcr.gov](mailto:tim.simmons@ncdcr.gov).

Sincerely,

A handwritten signature in black ink that reads "Ramona M. Bartos" followed by a stylized monogram.

Ramona M. Bartos, Deputy  
State Historic Preservation Officer

Enclosures

cc: Brita Eklund  
Eddie Belk



## HISTORIC PRESERVATION CERTIFICATION APPLICATION AMENDMENT / ADVISORY DETERMINATION



**Instructions:** This page must bear the applicant's original signature and must be dated.

**NPS Project Number**  
**40664**

1. **Property Name** Mill House - Cloth Warehouse  
**Property Address** 2005 Yanceyville Street Greensboro, NC 27405
2. **This form** ☐ includes additional information requested by NPS for an application currently on hold.  
☐ updates applicant or contact information.  
☒ amends a previously submitted ☐ Part 1 ☒ Part 2 ☐ Part 3 application.  
☐ requests an advisory determination that phase \_\_\_\_ of \_\_\_\_ phases of this rehabilitation meets the Secretary of the Interior's Standards for Rehabilitation. Phase completion date \_\_\_\_\_ Estimated rehabilitation costs of phase (QRE) \_\_\_\_\_

Summarize information here; continue on following page if necessary.  
Please see attached summary.

3. **Project Contact** (if different from applicant)

Name G. Edwin Belk FAIA Company Belk Architecture  
Street 735 Ninth Street City Durham State NC  
Zip 27705 Telephone (919) 286-2575 Email Address eddie@belkarchitecture.net

4. **Applicant**

I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable]:

- ☐ I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or  
☐ if I am not the fee simple owner of the above described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011).

For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.

Name Brika Eklund, Real Estate Director Signature (Sign in ink) \_\_\_\_\_ Date \_\_\_\_\_  
Applicant Entity SHVF Mill House, LLC SSN \_\_\_\_\_ or TIN 47-1971159  
Street 301 W. Main St. City Durham State NC  
Zip 27701 Telephone (919) 956-4454 Email Address brika.eklund@self-help.org  
☐ Applicant, SSN, or TIN has changed since previously submitted application.

**NPS Official Use Only**

The National Park Service has reviewed this amendment to the Historic Preservation Certification Application and has determined that the amendment:

- ☐ meets the Secretary of the Interior's Standards for Rehabilitation.  
☐ will meet the Secretary of the Interior's Standard for Rehabilitation if the attached conditions are met.  
☐ does not meet the Secretary of the Interior's Standards for Rehabilitation.  
☐ updates the information on file and does not affect the certification.

**Advisory Determinations:**

- ☐ The National Park Service has determined that the work completed in this phase is consistent with the Secretary of the Interior's Standards for Rehabilitation. This determination is advisory only. A formal certification of rehabilitation can be issued only after all rehabilitation work and any associated site work or new construction have been completed. This approval could be superseded if it is found that the overall rehabilitation does not meet the Secretary's Standards. A copy of this form will be provided to the Internal Revenue Service.

Date \_\_\_\_\_ National Park Service Authorized Signature (Sign in ink) \_\_\_\_\_

☐ NPS conditions or comments attached

**RECORDS RETENTION - PERMANENT.** Transfer all permanent records to NARA 15 years after closure. (NPS Records Schedule, Resource Management and Lands (Item 1.A.2) (N1-79-08-1)).



## Mill House Federal Part II Amendment Summary:

Note: From here forward we will be referring to both, the 1915 main warehouse building and the 1930 warehouse addition, as a 5 story buildings. The former 2<sup>nd</sup> floor will now be referred to as the mezzanine level, the former third floor will be referred to as the 2<sup>nd</sup> floor and so on.

1). We are proposing the design of 15,747 square feet of shell retail space, 33 apartments and 47,238 square feet of shell office space. For the retail & office tenants A 1<sup>st</sup> floor concourse will be added to bring you from the parking lot to the South through both The 1930 warehouse addition, the main warehouse and to the dock between Mill House and building 1250 on the North. A second concourse will bring you from the main entrance, off of the new plaza (see #2 proposal) at the East end of the main warehouse & converge in the center of the building where A 5 story skylight atrium. A separate entrance for the residential tenants is located on the South end of the warehouse addition building. See attached plans and elevations.

2). The proposed removal of the metal sheathed loading dock on the East of the main warehouse.

The existing concrete dock pad slopes approximately 8" from East to West with a drain at the East face of the main warehouse building. We propose removing the loading dock and the metal enclosure and adding a plaza which slopes away from the building toward Yanceyville street, the existing entrance and parking. This effort will expose the original brick façade of the main warehouse building, provide an accessible main entrance, provide outdoor gathering space and naturally shed storm water away from the building. See attached photo's, plans and elevations.

3). The proposed removal of the old metal warehouse chute that favors the center North side of the 1930 Warehouse addition building which penetrates the second floor to the sixth floor. We intend to relocate this architectural remnant elsewhere on campus.

Floor penetrations such as this pose a significant fire risk and would be virtually impossible to rectify this issue if it were to remain. We propose the removal of the metal chute.

## Mill House Federal Part II Amendment Description- Continued:

4). Extending the existing dock on the North of the 1915 Main Warehouse building, to the South three window bays providing a creek terrace. Also, we will be adding a storefront exit and a (standard - previously approved) standing seam awning above. See attached photo's, plans and elevations.

5). The addition of a roof maintenance access stair.

The current roof access is a 2' x 2' opening North of the East elevator shaft and requires a ladder. We propose adding a metal stair extending from the top floor, with in the existing East stair tower, to the roof providing a safer environment for persons tasked to maintain this building in the future. See attached plans and elevations.



## HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 2 – DESCRIPTION OF REHABILITATION

Property name Mill House - Cloth Warehouse NPS Project Number \_\_\_\_\_  
Property address 2005 Yanceyville Street Greensboro Guilford NC 27405

**5. Detailed description of rehabilitation work** Use this page to describe all work or create a comparable format with this information.  
Number items consecutively to describe all work, including building exterior and interior, additions, site work, landscaping, and new construction.

<b>Number</b> <u>1</u>	<b>Feature</b> <u>1915 Main Warehouse Building</u>	<b>Date of Feature</b> <u>1915</u>
------------------------	--	------------------------------------

### Describe existing feature and its condition

The main warehouse building is a 5-story structure of poured in-place concrete with brick infill. This building measures approximately 160' (east-west) X 100' (north-south). The typical floor to floor height (floor 2-5) is approximately 10'. The first floor, floor to floor height is approximately 17'-4". The overall building height is approximately 71' at the elevator equipment room roof. The primary facade (East) features 5-part massing of concrete structure and brick infill. In c1930 a warehouse addition was added (see feature #3). During this time, an infill floor was added as the second floor making this a 6 story building. The infill floor (2nd floor) is of steel structure and wood floor decking. Most floors contain non-original, plywood or gyp. interior partitions from its most recent use, a self storage warehouse. The building is in generally good repair.

Photo numbers 1-8, 11-13, 20, 23-24, 27-29

Drawing numbers x101-106, x500-502, A101-106, A500-502

### Describe work and impact on feature

All remaining non-original, interior, non-load bearing partitions are to be removed. The proposed interior construction will be placed in a manner to expose the existing structure and full window configurations wherever possible. The existing concrete floors, where left exposed, will be gently scraped, cleaned and sealed to function as the primary finished floor. Building interior surfaces will be sandblasted using the gentlest means possible per the NPS Preservation Brief #8. A small test area will be cleaned for NC SHPO review and approval and retained as a reference sample for the duration of the project. Bricked-in and otherwise remaining obscured window openings will be reopened. Damaged or missing brick masonry will be repaired or replaced with materials to match. Missing and degraded mortar will be re-pointed with mortar of matching color, texture, strength and joint profile of the existing. General exterior cleaning will be performed using mild detergents. The existing loading dock and enclosure is to be removed exposing the original 1915 main warehouse facade and providing a new plaza area for the main entrance to the building. We intend to extend the existing dock on the N/W end of the building providing a creek terrace and an additional exit/access to it. The wood infill floor (2nd floor-now mezzanine level) will be removed taking advantage of the generous 1st floor ceiling height of the original 1915 5 story warehouse. About 100sf of this floor will remain for access to the mezzanine level of the 1930 warehouse addition. A 5 story, 4 column bay atrium with skylights will be added to the center, South of the 1915 main warehouse building by removing the concrete flooring and one column in this area on the upper floors. Both existing stair towers have winder stairs between the first floor and (now) mezzanine level & are not code compliant. This portion of the stair will be modified to be code compliant stairs within the existing stair towers. The original roof access is a 2'x2' hatch with a ladder leading to it and located to the North of the Existing East elevator shaft. We intend to add a new, more appropriate/safe, roof access for frequent maintenance within the existing East stair tower. Two new elevators will be added, one will be located adjacent the new atrium and a second adjacent the existing West elevator shaft. These two new stretcher sized elevators will support the shell office tenant spaces on the upper floors of the 1915 main warehouse building. The existing West elevator was modified, and equipment removed (time unknown) with elevator pit structure beneath the building structure, which housed the elevator equipment. This structure is damaged and no longer functional. We intend to remove the West elevator shaft and elevator equipment structure beneath. The floor in this area will be repaired with concrete infill. The existing East elevator structure will remain and the floor in this area will be repaired with concrete infill. Neither of the two existing elevator shafts will facilitate the new code required, stretcher sized elevators. Two new concourses will

**HISTORIC PRESERVATION CERTIFICATION APPLICATION  
PART 2 – DESCRIPTION OF REHABILITATION**

be added within the building for simple way finding, entrances and exits that converge at the atrium, provide access to shell retail tenant spaces and one of the two new elevators which support the shell office tenant spaces on the upper floors. One is North/South in orientation with a new entrance from the North accessing the dock between the 1915 main warehouse building and building 1250 (building A). This North/South concourse will pass through the 1930 warehouse addition to an entrance from the South and to parking. The East/West concourse will connect the main East entrance, new plaza and parking to the new atrium, elevator, the N/S concourse and shell retail tenant spaces. The existing stair on the West end of the building will require a direct exit to the exterior on the North to the dock area between the 1915 Warehouse building and building 1250. This exit is essentially just below what was previously approved within a recent amendment - a 3rd floor metal pedestrian bridge which connects directly to the 2nd floor of building 1250.

<b>Number</b> 2	<b>Feature</b> Original Windows - 1915 Warehouse	<b>Date of Feature</b> 1915
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**Describe existing feature and its condition**

The original windows of the 1915 warehouse vary in size and configuration. The windows of the top 4 floors of the East (front) facade features a variety of steel window sizes and configurations. These are mostly comprised of 6'-1"wide X 6'-9"tall, 20 lite windows. The upper floors of the southern most bay has 6'-1"wide X 3'-5", 10 lite windows. The top floor however, has a 6'-1"wide X 6'-9"tall, 20 lite window on this southern most bay. In 1915, the first floor of the East facade was comprised of 6'-1"wide X 13'-6"tall 40 lite (two story) steel windows. In c.1930, when the 6 story warehouse addition was built & the infill second floor was added to the 1915 warehouse the two story windows were modified into two separate 6'-1"wide X 5'-2", 15 lite windows. The top four floors of the North Facade of the building are mostly comprised of 6'-1"wide X 6'-9"tall, 20 lite windows. Similar to the East (front) facade, the original first floor was comprised of 6'-1"wide X 13'-6"tall 40 lite (two story) steel windows but, since have been modified into two separate windows. Approximately 1/3 of the windows on the North facade are currently bricked in. The upper four floors of the West facade is mostly comprised of 6'-1"wide X 6'-9"tall, 20 lite windows. The three middle floors of the Northern most bay of the West facade show no evidence of having windows. The First floor windows of the West facade, similar to the East and North facade's, were originally comprised of 6'-1"wide X 13'-6"tall 40 lite(two story) steel windows & have since been modified into two separate 6'-1"wide X 5'-2", 15 lite windows. The windows of the South elevation of the 1915 warehouse have all been bricked in but, show evidence of the original first floor, two story windows.

Generally, throughout all window size & lite count differences, every other window features an operable hopper within the mutin grid. The original first floor, two story windows appear to have had two hoppers per window. Window lites are 1'-2" wide X 1'-8" tall.

Photo numbers 1-8,11-15,20,23-24,

Drawing numbers x101-106,x500-502,A101-106,A500-502

**Describe work and impact on feature**

All remaining window openings will be reopened / restored, unless noted otherwise on the drawings. Where feasible, the existing windows will be repaired (making use of salvaged, matching materials), re-glazed with clear insulated glass, cleaned, repainted and set back in-place. Where the amount of damage is prohibitive or the historic window is missing, replica windows will be produced to match the historic condition. Historic windows beyond repair will be salvaged for use in repairing other windows throughout the project. All new and repaired windows will conform with current code.

<b>Number</b> 3	<b>Feature</b> 1930 Warehouse Addition	<b>Date of Feature</b> 1930
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**Describe existing feature and its condition**

The 1930 warehouse addition building is a 6-story brick pier foundation, steel structure, wood floor & ceiling deck with a brick clad veneer. This building measures approximately 202'(east-west) X 61'(north-south). The typical floor to floor height is approximately 10'. The sixth floor is approximately 7' at the lowest point (South). The overall building height is approximately 63' to the parapet at the NW corner of the building. The



## HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 2 – DESCRIPTION OF REHABILITATION

primary facade (East) features 6-part massing of brick pilasters. A masonite seethed ramp in the center of the building runs from the first to the second floor. A metal chute favoring the Center, North side of the building penetrates the second to the sixth floor. Most floors contain plywood or gyp. interior partitions from its most recent use, a self storage warehouse. The building is in generally good repair.

Photo numbers 1,10-11,16-18,21,25-26,28-29

Drawing numbers x101-x106,x500-501,x503,A500-501,A503

### Describe work and impact on feature

All interior non original, non-load bearing partitions have been previously removed. The proposed interior construction will be placed in a manner to expose the existing structure and full window configurations wherever possible. Building interior surfaces will be sandblasted using the gentlest means possible per the NPS Preservation Brief #8. A small test area will be cleaned for NC SHPO review and approval and retained as a reference sample for the duration of the project. Remaining ricked-in and otherwise obscured window openings will be reopened. Damaged or missing brick masonry will be repaired or replaced with materials to match. Missing and degraded mortar will be re-pointed with mortar of matching color, texture, strength and joint profile of the existing. General exterior cleaning will be performed using mild detergents. As mentioned earlier, a new entrance on the South of the building will be added for access to the concourse, shell retail space (on the first floor & portion of mezzanine level), restrooms, stair, etc. A second (private) entrance will be added to the South of the building to support the 33 residential apartments and their amenities. A new (private) elevator and exit stair will also be added for apartment tenant use only. We also intend to demolish the dumpster corral on the South side of the 1930 warehouse addition and relocate it elsewhere on campus.

Number 4

Feature Original Windows Warehouse Addtn.

Date of Feature 1930

### Describe existing feature and its condition

The original windows of the 1930 warehouse addition are comprised of mainly two sizes/ configurations. The primary (East) and rear (West) facade's are steel framed, 6'-0"wide X 5'-1" tall, 15 lite windows. The South elevation features 6'-0" wide X 3'-4" tall, 10 lite windows. Both sizes are adorned with operable hoppers within the mutin grid. Window lites are 1'-2" wide X 1'-8" tall.

Photo numbers 1,9-11,16-18,21,25-26

Drawing numbers x101-106,x500-501,x503,A500-501,A503

### Describe work and impact on feature

All remaining window openings will be reopened / restored, unless noted otherwise on the drawings. Where feasible, the existing windows will be repaired (making use of salvaged, matching materials), re-glazed with clear insulated glass, cleaned, repainted and set back in-place. Where the amount of damage is prohibitive or the historic window is missing, replica windows will be produced to match the historic condition. Historic windows beyond repair will be salvaged for use in repairing other windows throughout the project. All new and repaired windows will conform with current code.

Number

Feature

Date of Feature

### Describe existing feature and its condition

Photo numbers

Drawing numbers

### Describe work and impact on feature

## **Mill House Design Guidelines**

The following guidelines will be utilized to develop shell spaces and tenant layout plans with appropriate sensitivity to the historic buildings existing layout plan and materials. All tenant fit-up plans must be reviewed by the overall project architect to confirm and ensure compliance.

### **• Exterior Windows**

Tenant layout walls and/or drop ceilings will not intersect existing historic windows. If walls and/or ceilings must intersect the exterior walls, they may only intersect the solid wall pillars and may not do harm to the wall surfaces.

### **• Interior/Corridor Walls**

The new corridor walls layout and degree of transparency have been developed to share the experience of height and volume inherent to these industrial spaces. They also allow everyone to share the expansive views to the windows and exterior sunlight/views. All tenant layouts will strive to maintain open volume and sightlines to as high a degree as possible. Walls will not intersect the corridor windows.

### **• Structural Columns/Grid**

Historic industrial buildings are primarily laid out in a uniform grid of column bays. This building rhythm is integral to the architectural statement of these historic structures. Corridor walls and common area walls act as backdrops to this structural rhythm. Tenant layouts will also avoid intersecting/interrupting this grid rhythm in every possible way.

### **• Exposed Ceiling Structure**

The exposed ceiling beam grid and heavy timber decking contributes to the architectural character of these spaces. Tenant layouts will maintain this open structural ceiling. Interior spaces will minimize drop or lay-in ceilings. In spaces where they are absolutely required, they will follow these guidelines. Ceilings will not intersect exterior or interior windows.

### **• Architectural Style**

Tenant interiors should follow simpler, contemporary lines to compliment the clean lines of the industrial structure. Incompatible faux history details... i.e., crown molding, chair rails, wainscot, carriage lights, etc. are not to be specified.

### **• Plumbing, Mechanical, and Electrical Systems**

As part of the effort to transform the complex from functioning mill to new uses, all existing, nonfunctional plumbing, mechanical and electrical services will be carefully removed and replaced with new systems meeting current requirements. Care will be taken to minimize routing of new services and, where exposed, organizing new feeders to neatly (and in groups) follow existing columns/beams and always running parallel or perpendicular to existing structure. New low-profile HVAC equipment will be mounted on the roof away from roof edges to minimize visual impact from below but will not be screened to reflect the industrial nature of the campus. Throughout the complex, new ductwork will not be placed within 10'-0" of exterior wall openings or so that prominent views from the interior are blocked.








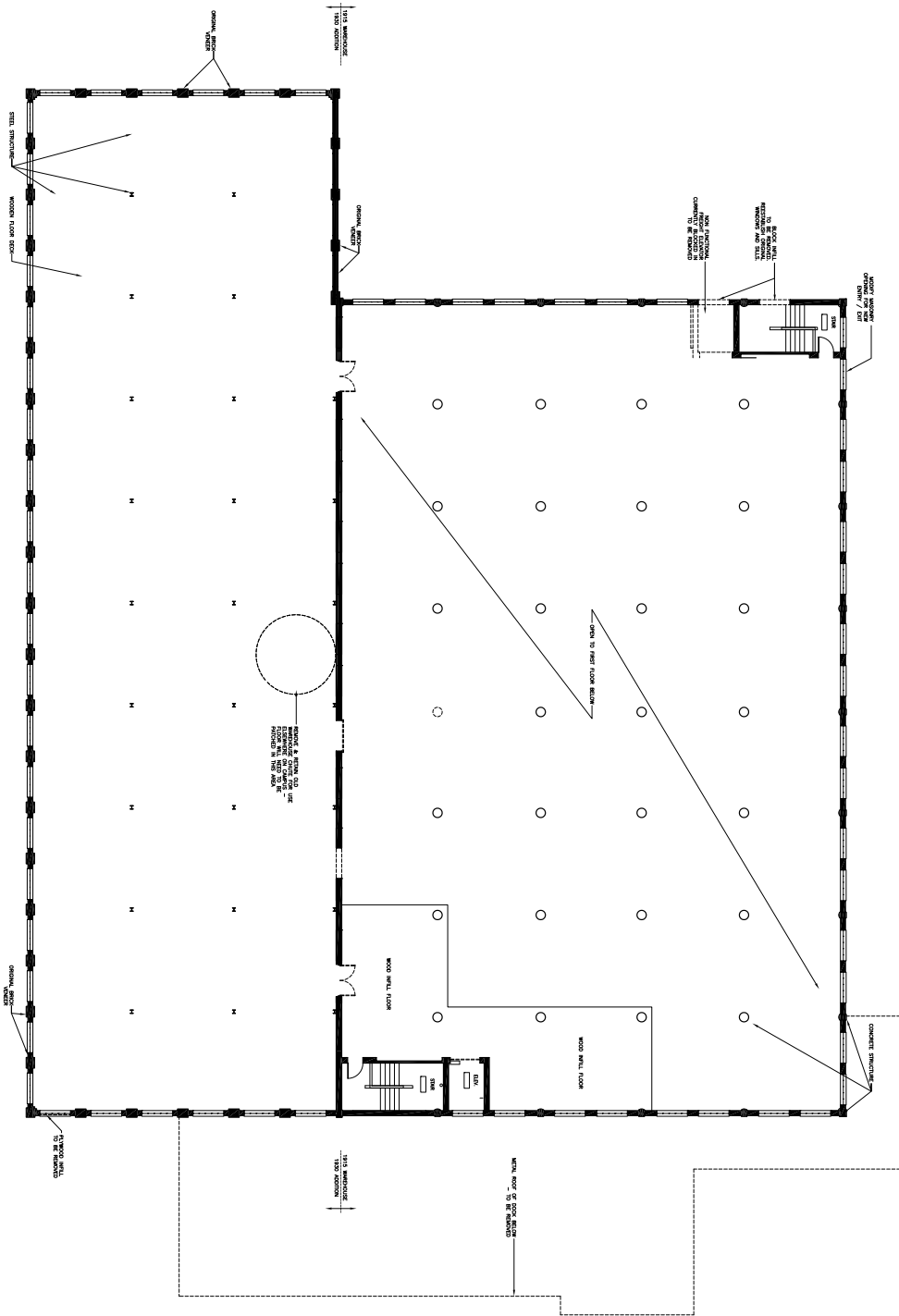




 <p><b>Coulter Jewell Thames</b> ENGINEERING • PLANNING • LANDSCAPE ARCHITECTURE NC BOARD OF EXAMINERS FOR ENGINEERS &amp; SURVEYORS LICENSE NO. C-1209</p>		<p>111 West Main Street Durham, NC 27701 P 919.888.5546 F 919.888.5546 www.cjta.com</p>		<p><b>PROJECT ADDRESS:</b> OLYMPIC MILL HOUSE Golf Course Golf Course North Carolina</p>		<p><b>OWNER / DEVELOPER:</b> THE OLYMPIC MILL HOUSE LLC 1200 Revolution Mill Dr. Greensboro, NC P: 336-235-2393</p>		<p><b>PROJECT NUMBER:</b> 1427 <b>DATE:</b> 05/20/2014 <b>SCALE:</b> 1" = 20' 0"</p>		<p><b>PRELIMINARY PLAN FOR CONSTRUCTION</b></p>		<p><b>SHEET TITLE:</b> LANDSCAPE PLAN C700</p>	
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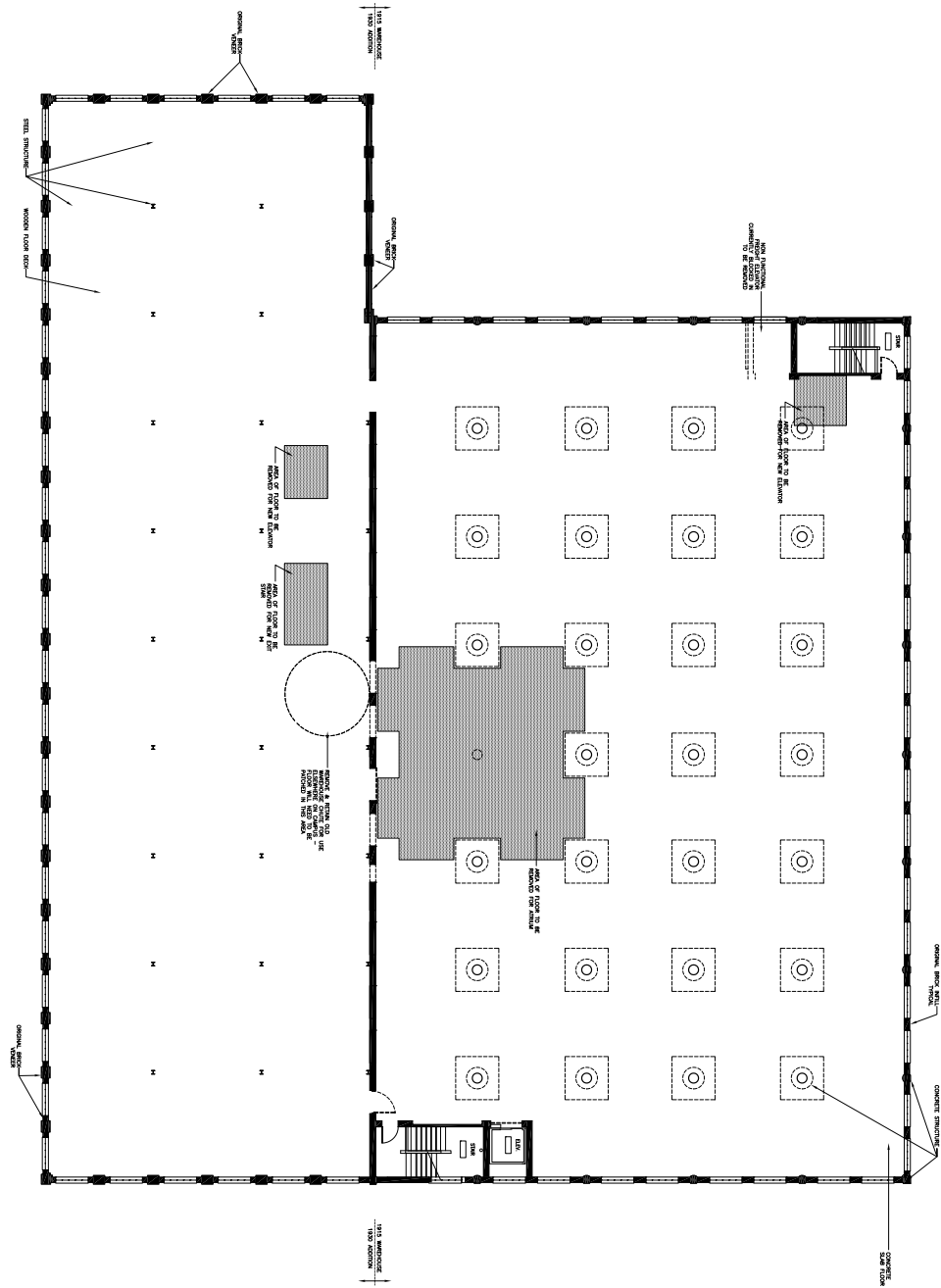


GENERAL NOTES:  
1. THESE PLANS ARE FOR THE  
EXISTING CONDITION OF THE  
MILL HOUSE AND DO NOT  
INCLUDE ANY NEW ELEMENTS  
TO BE DEMOLISHED.

MILL HOUSE  
MEZZANINE LEVEL  
X-101m



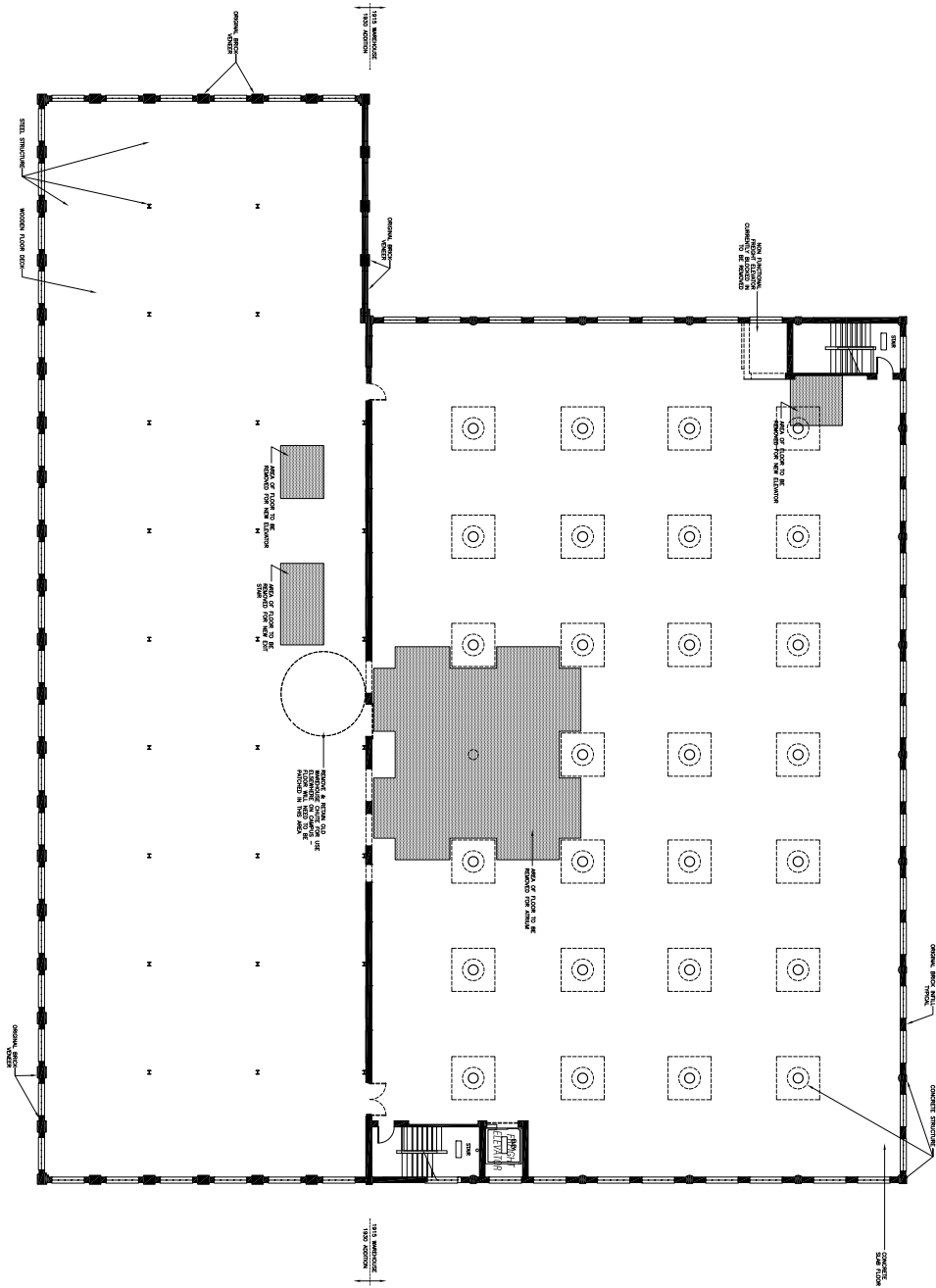




GENERAL NOTES:  
 THESE SHOWN LINES IN EXISTING  
 CONDITION ARE TO BE REMOVED  
 TO BE DEMOLISHED  
 TO BE DEMOLISHED

MILL HOUSE  
 THIRD FLOOR  
 1/2" = 1'-0"





GENERAL NOTES:  
 1. THESE PLANS ARE FOR THE EXISTING  
 2. MILL HOUSE AND DEMO  
 3. TO BE DEMOLISHED  
 4. TO BE DEMOLISHED

MILL HOUSE  
 FOURTH FLOOR  
 27'0" x 77'0"



**SHEET CONTENT**  
 EXISTING CONDITION  
 AND DEMO  
 FOURTH FLOOR PLAN

DESIGNER: **SEMP HMP**  
 PROJECT NUMBER: **00001115**  
 DRAWN BY: **REI ARCHITECTURE**

**MILL HOUSE**  
 CA. 1915 / 1930  
 @  
 REVOLUTION MILL  
 2005 YANCEYVILLE STREET, GREENSBORO, NC

PROJECT TITLE & ADDRESS

GENERAL NOTES

GENERAL CONTRACTOR

**SEMP HMP**  
 301 West Main Street  
 Durham, NC 27701  
 info@semp-hmp.com

CLIENT

The undersigned and I hereby certify that we are duly licensed and qualified to practice as architects in the State of North Carolina, and that we are not under any suspension or revocation of our license, and that we are not under any other disciplinary action.

DATE: 02/28/2020



275 Main Street  
 Durham, NC 27705  
 ARCHITECT: 00000000

**SEMP HMP**  
 architecture

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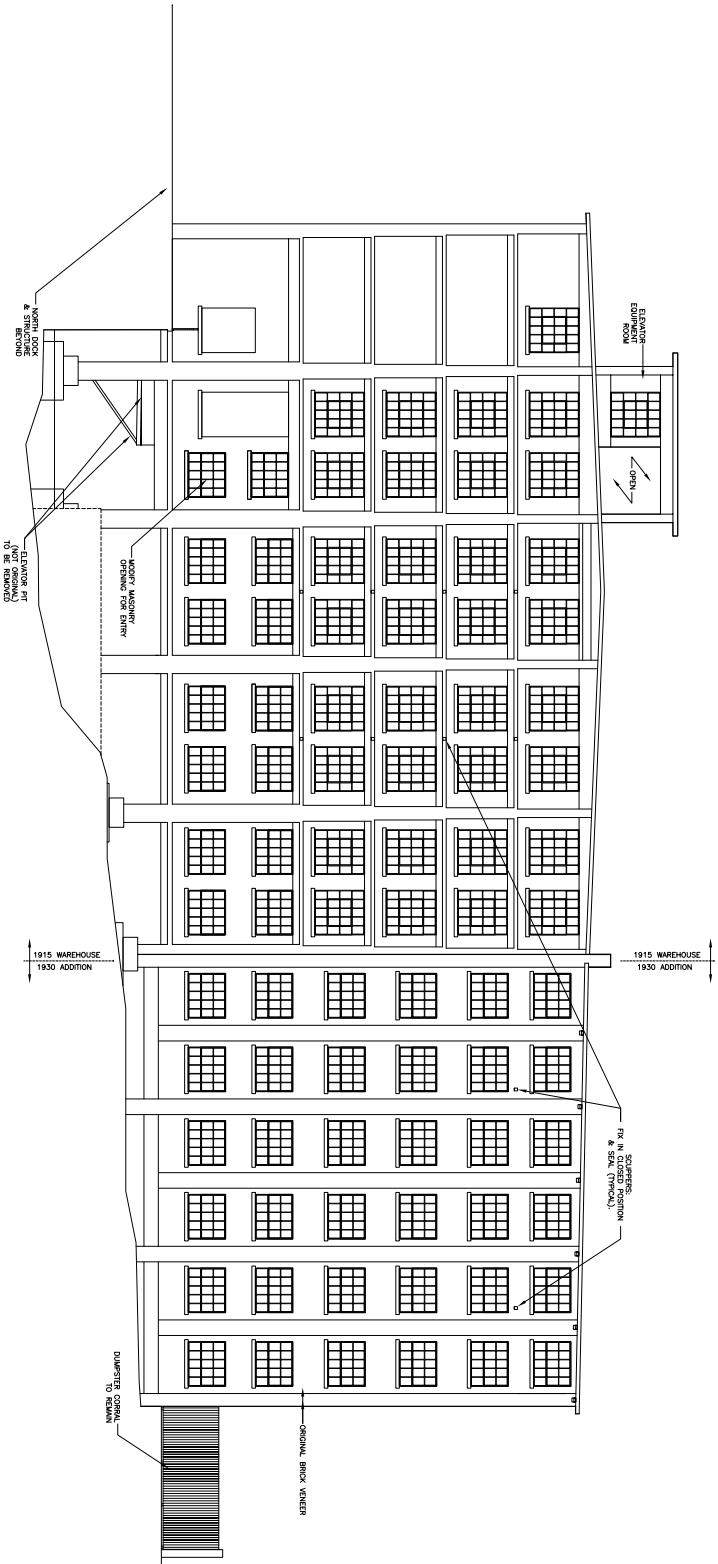








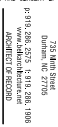




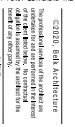
WEST  
ELEVATION  
1/8" = 1'-0"







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GENERAL CONTRACTOR

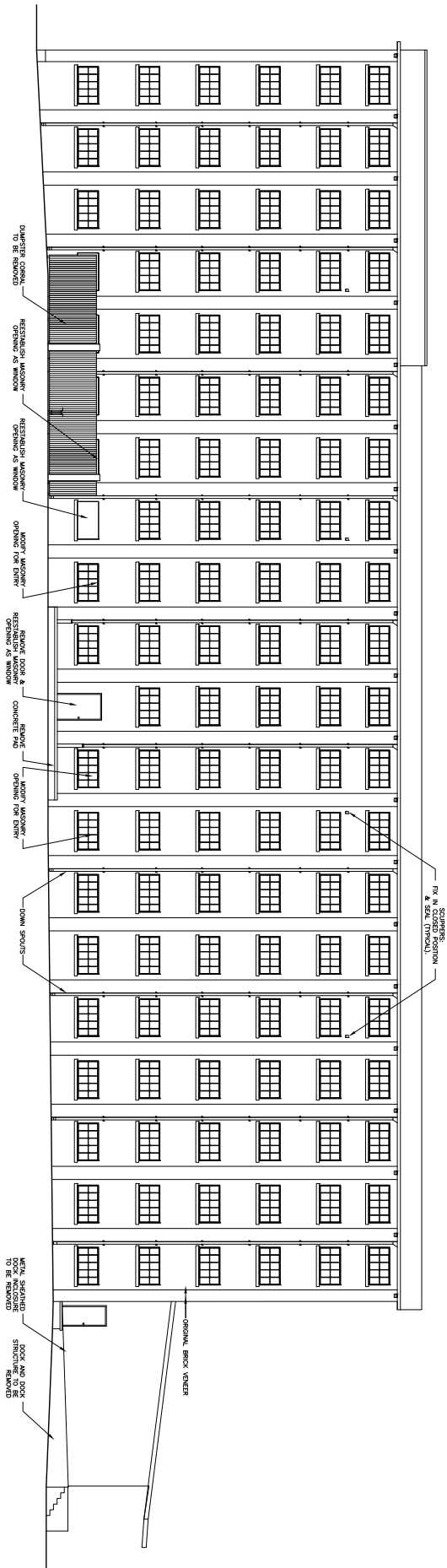
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CONSULTANTS

**MILL HOUSE**  
CA. 1915 / 1930  
@  
REVOLUTION MILL  
2005 YANCEYVILLE STREET, GREENSBORO, NC

Project Number	RMS001115
Drawn by	BEK/ARCH/TECH/PE
ISSUE DATE:	DESCRIPTION:
SEPTEMBER 2, 2000	REVIEW

X-503

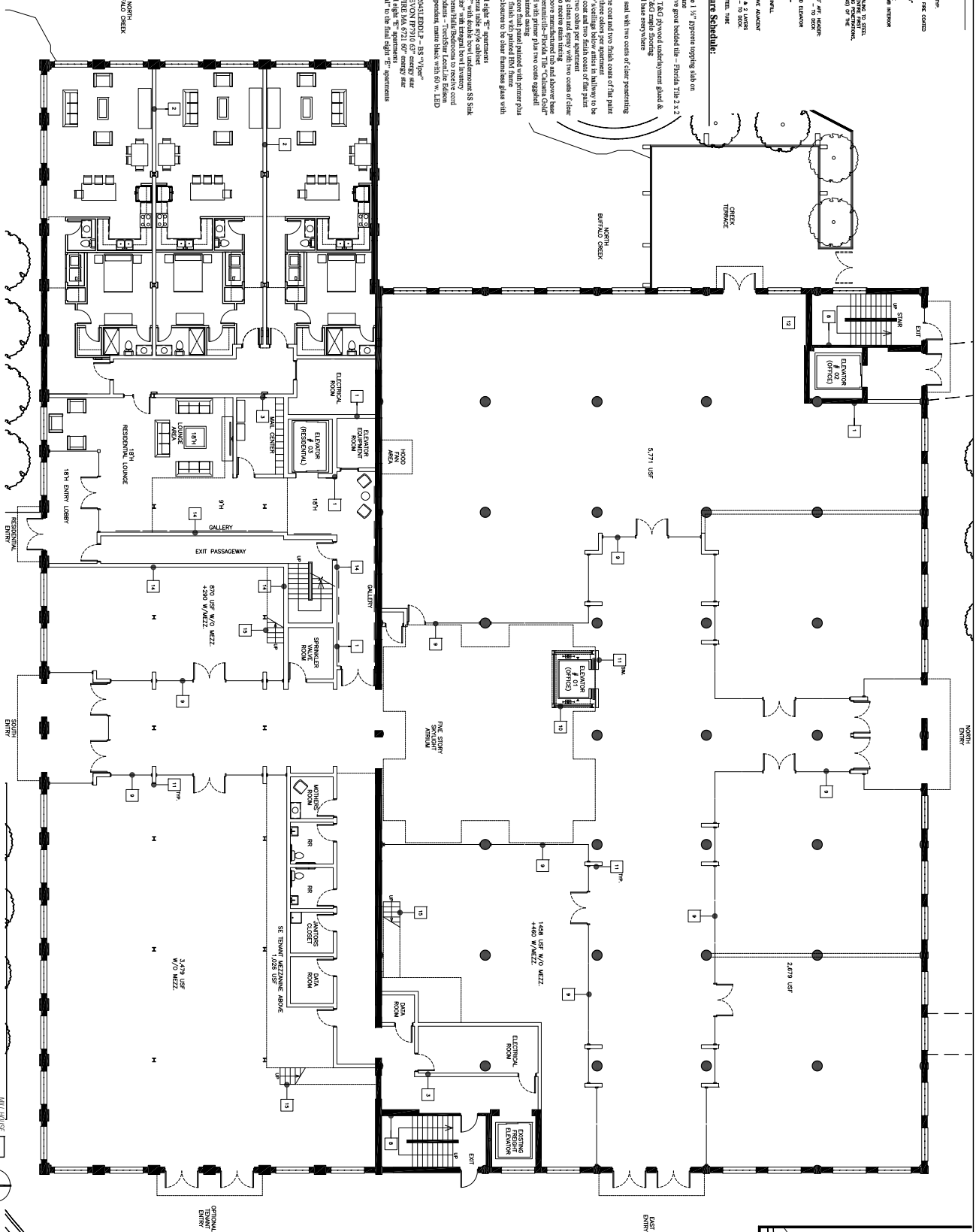


SOUTH  
ELEVATION  
1/8" = 1'-0"

[illegible]

### Mill House Apartments Finish/Fixture Schedules:

Fluorine	Subfactor	- All rates to increase 1/4% by next supply sale on September 15th. - The Fluorine Company has received good feedback from the market. - All clients to be in T&G's delivery schedule by next supply sale. - All clients to be in T&G's delivery schedule by next supply sale.
Backsheet	Backsheet	- All clients to be in T&G's delivery schedule by next supply sale. - All clients to be in T&G's delivery schedule by next supply sale.
Walls	Backsheet	- All clients to be in T&G's delivery schedule by next supply sale. - All clients to be in T&G's delivery schedule by next supply sale.
Non-Drywall	Backsheet	- All clients to be in T&G's delivery schedule by next supply sale. - All clients to be in T&G's delivery schedule by next supply sale.
Ceilings	Drywall	- All clients to be in T&G's delivery schedule by next supply sale. - All clients to be in T&G's delivery schedule by next supply sale.
Tubs & Showers	Wood trim	- All clients to be in T&G's delivery schedule by next supply sale. - All clients to be in T&G's delivery schedule by next supply sale.
Doors	Interior	- All clients to be in T&G's delivery schedule by next supply sale. - All clients to be in T&G's delivery schedule by next supply sale.
Trim	Trim	- All clients to be in T&G's delivery schedule by next supply sale. - All clients to be in T&G's delivery schedule by next supply sale.
Chairs	Chairs	- All clients to be in T&G's delivery schedule by next supply sale. - All clients to be in T&G's delivery schedule by next supply sale.
Countertops	Countertops	- All clients to be in T&G's delivery schedule by next supply sale. - All clients to be in T&G's delivery schedule by next supply sale.
Lighting	Lighting	- All clients to be in T&G's delivery schedule by next supply sale. - All clients to be in T&G's delivery schedule by next supply sale.
Appliances	Appliances	- All clients to be in T&G's delivery schedule by next supply sale. - All clients to be in T&G's delivery schedule by next supply sale.
Landscaping	Landscaping	- All clients to be in T&G's delivery schedule by next supply sale. - All clients to be in T&G's delivery schedule by next supply sale.

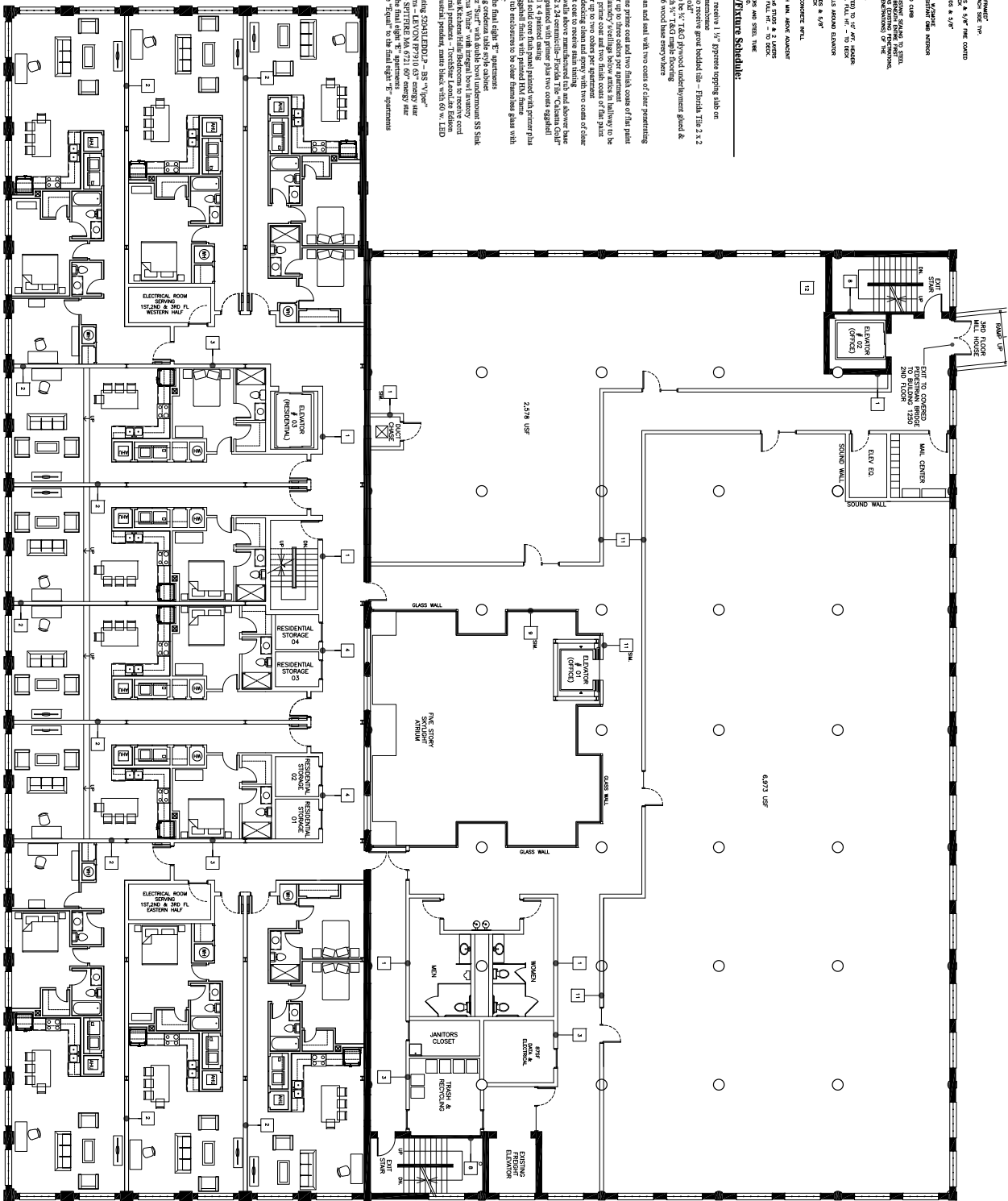






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### Mill House Apartments Finish/Fixture Schedules:

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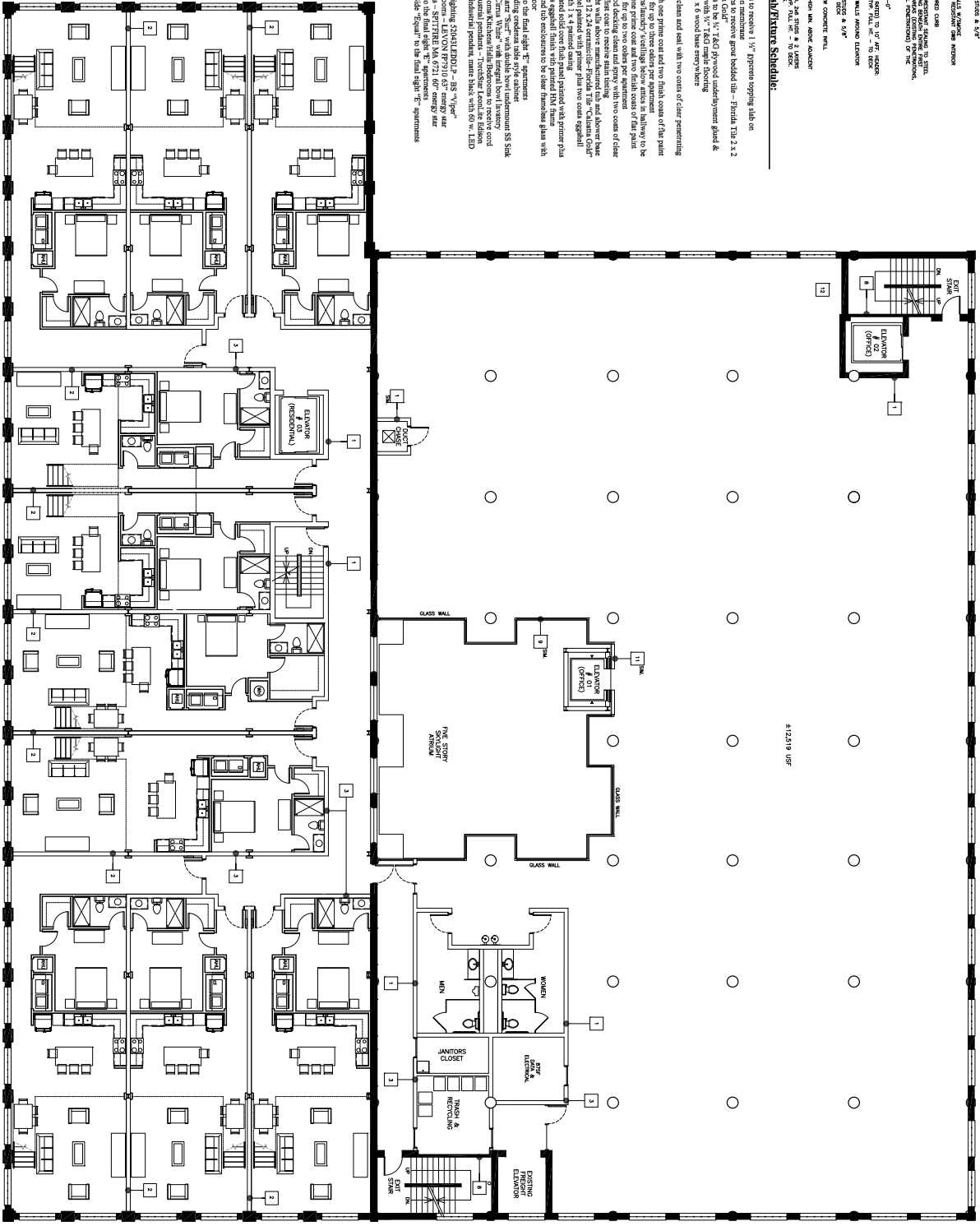


# NOTED NOTES / ELEVATOR SHAFT

1. NEW ELEVATOR SHAFT - SEE ELEVATOR SHAFT FOR DETAILS.
2. NEW ELEVATOR SHAFT - SEE ELEVATOR SHAFT FOR DETAILS.
3. NEW ELEVATOR SHAFT - SEE ELEVATOR SHAFT FOR DETAILS.
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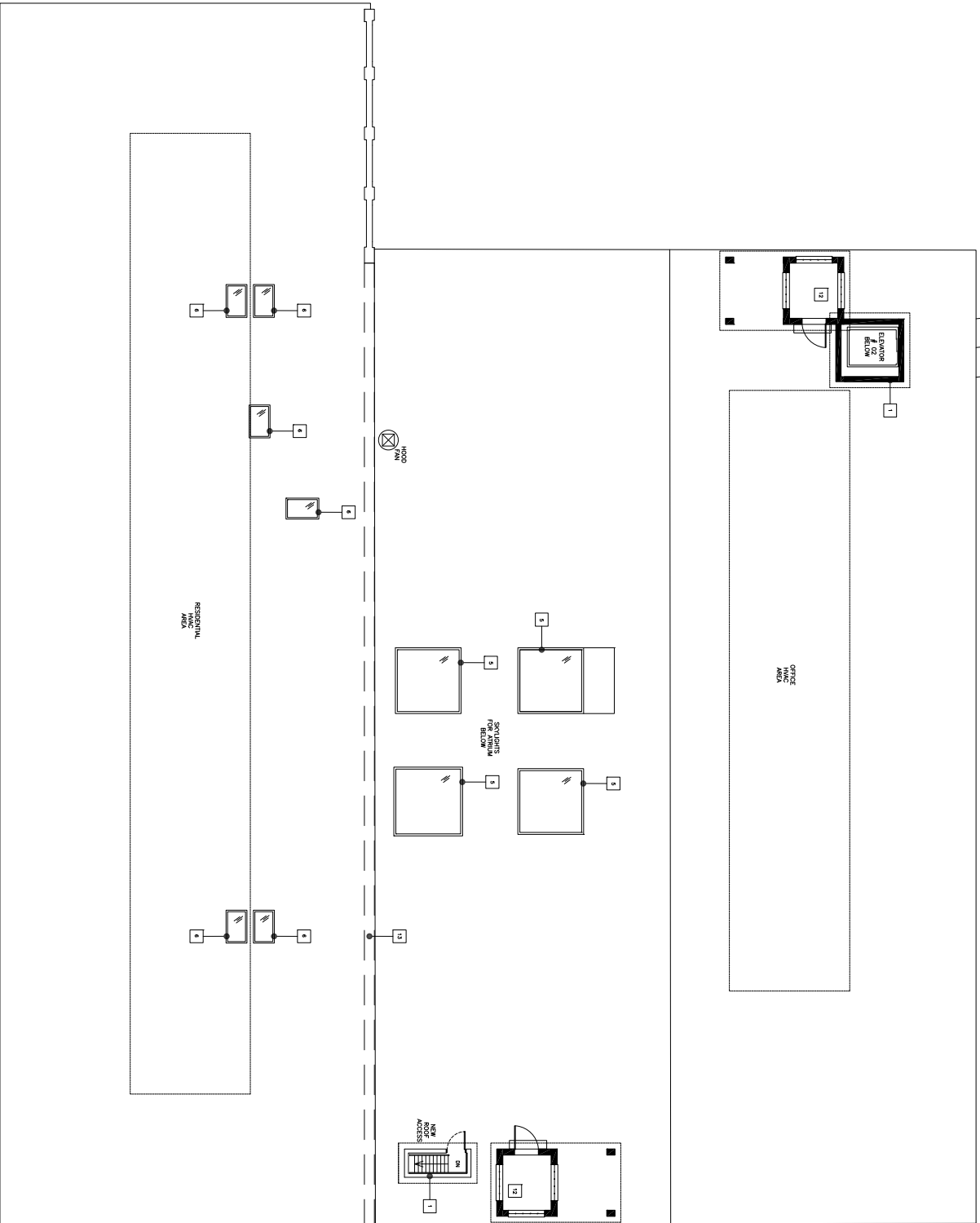
## MILL HOUSE APARTMENT FINISHES SCHEDULE

- Floors**
- All areas to receive 1 1/2" plywood topping slab on separation membrane
  - All rooms to receive grade finished tile - Porcelain Tile 2 x 2
  - All doors to be 1/2" T&G plywood underlayment glued & nailed 1 x 6 wood frame every three
- Walls**
- All walls to receive 1 1/2" plywood topping slab on separation membrane
  - All rooms to receive grade finished tile - Porcelain Tile 2 x 2
  - All doors to be 1/2" T&G plywood underlayment glued & nailed 1 x 6 wood frame every three
- Ceilings**
- All ceilings to receive 1 1/2" plywood topping slab on separation membrane
  - All rooms to receive grade finished tile - Porcelain Tile 2 x 2
  - All doors to be 1/2" T&G plywood underlayment glued & nailed 1 x 6 wood frame every three
- Doors**
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- Windows**
- All windows to be 1/2" T&G plywood underlayment glued & nailed 1 x 6 wood frame every three
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- Countertops**
- All countertops to be 1/2" T&G plywood underlayment glued & nailed 1 x 6 wood frame every three
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- Sinks**
- All sinks to be 1/2" T&G plywood underlayment glued & nailed 1 x 6 wood frame every three
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- Stoves**
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- Refrigerators**
- All refrigerators to be 1/2" T&G plywood underlayment glued & nailed 1 x 6 wood frame every three
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- Dishwashers**
- All dishwashers to be 1/2" T&G plywood underlayment glued & nailed 1 x 6 wood frame every three
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  - All dishwashers to be 1/2" T&G plywood underlayment glued & nailed 1 x 6 wood frame every three
- Lighting**
- All lighting to be 1/2" T&G plywood underlayment glued & nailed 1 x 6 wood frame every three
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  - All lighting to be 1/2" T&G plywood underlayment glued & nailed 1 x 6 wood frame every three
- Appliances**
- All appliances to be 1/2" T&G plywood underlayment glued & nailed 1 x 6 wood frame every three
  - All appliances to be 1/2" T&G plywood underlayment glued & nailed 1 x 6 wood frame every three
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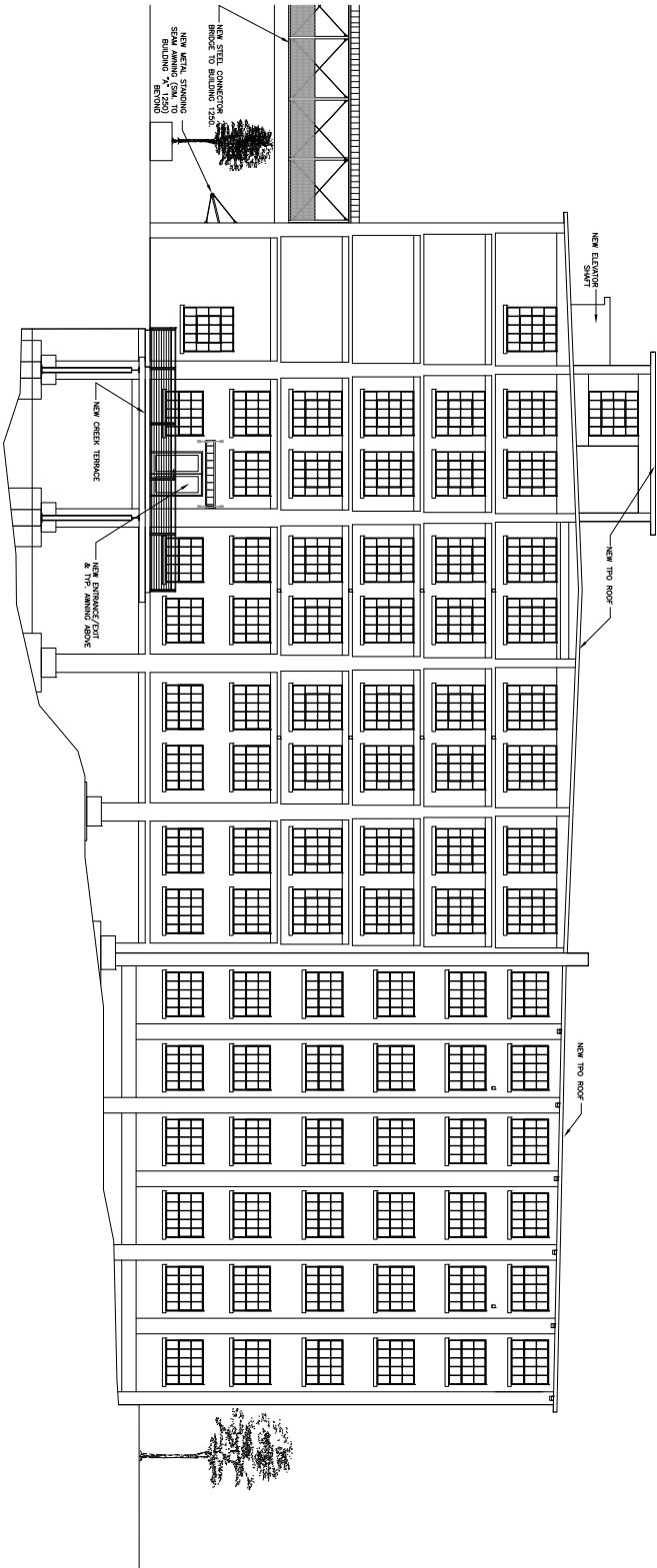


MILL HOUSE  
ROOF PLAN  
7/26/19

A106



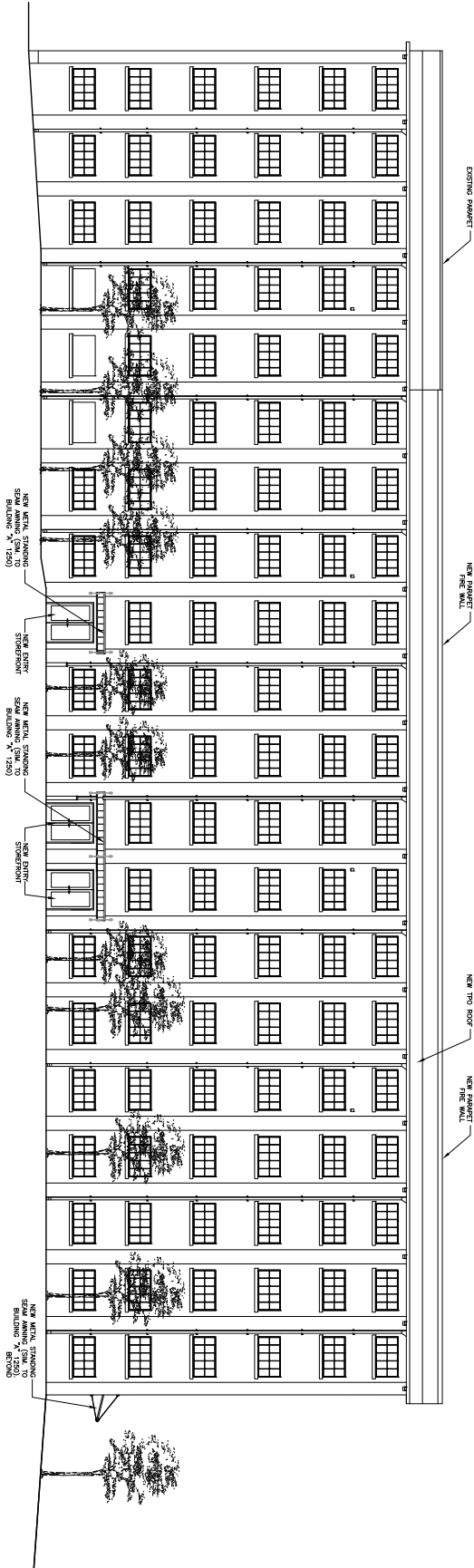




WEST  
ELEVATION  
1/8" = 1'-0"

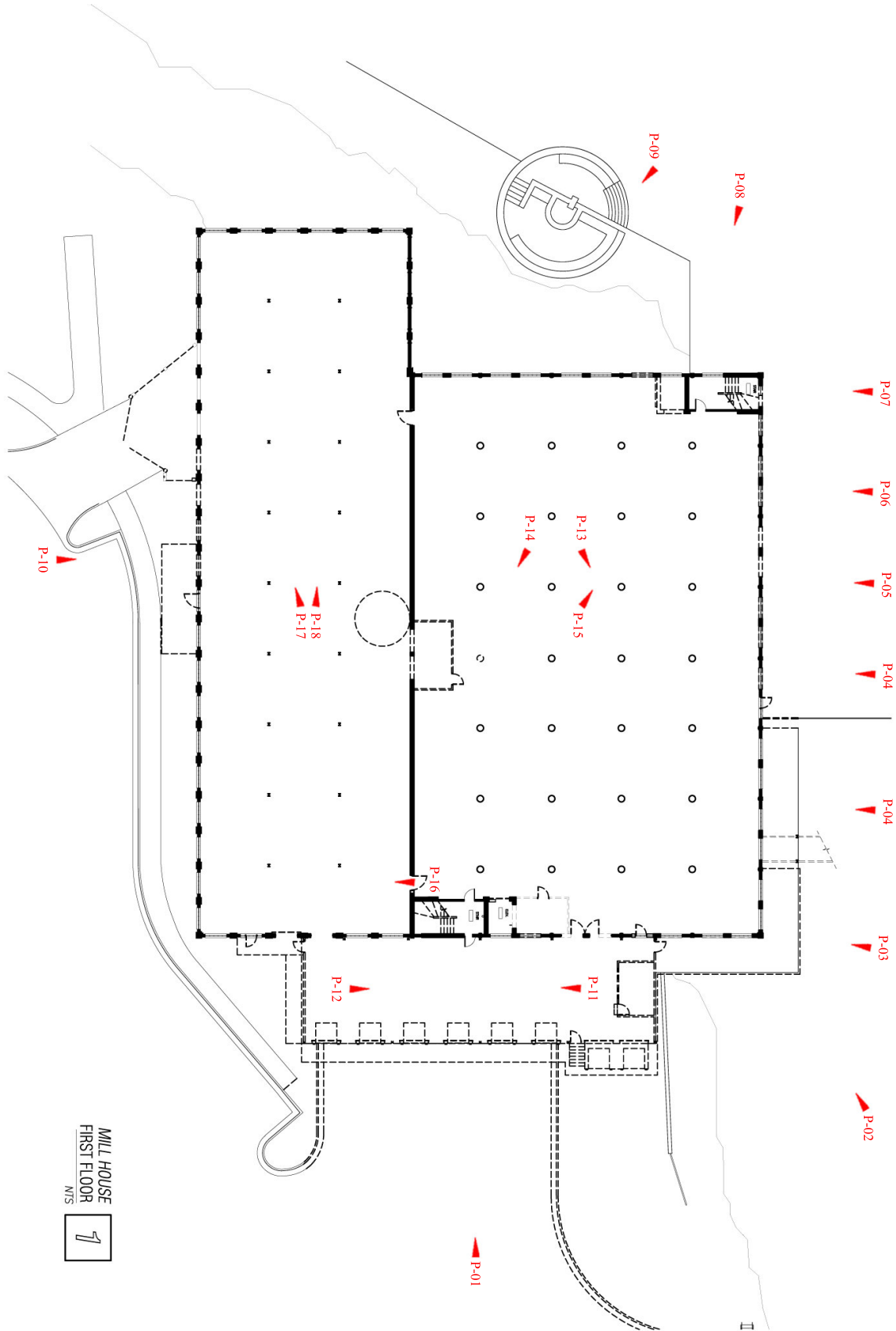






SOUTH  
ELEVATION  
1/8" = 1'-0"



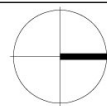


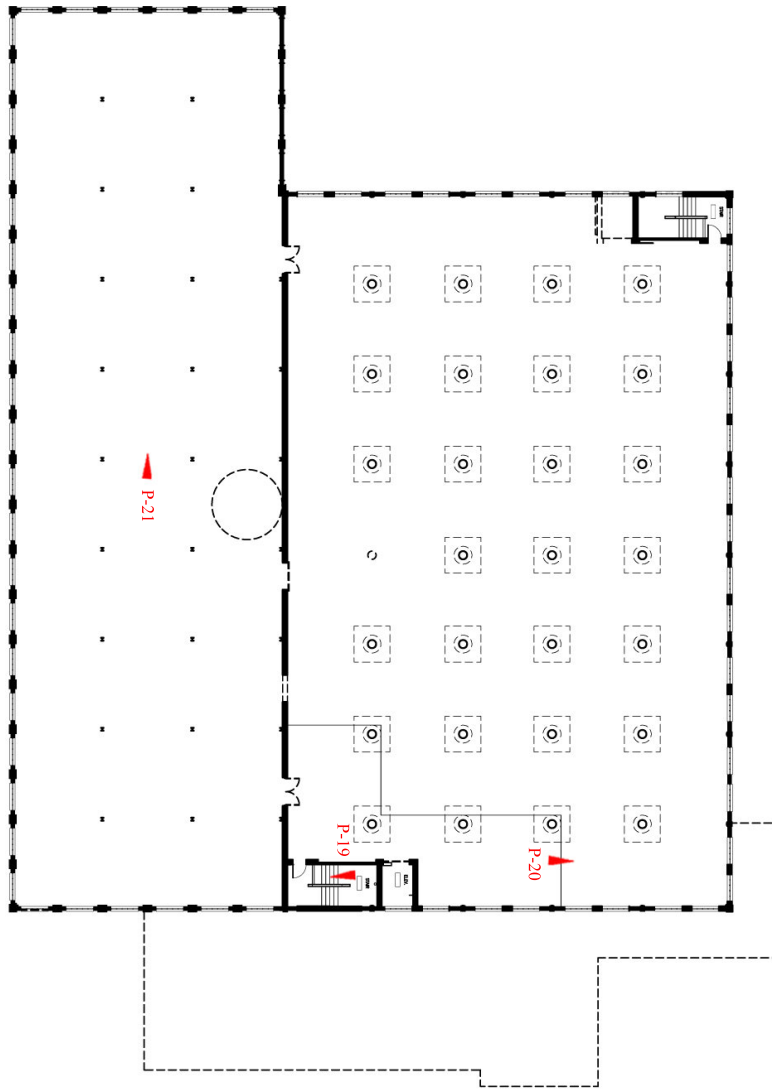
MILL HOUSE  
FIRST FLOOR  
NTS

7

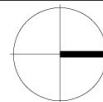
## MILL HOUSE

REVOLUTION MILL  
2005 YANCEYVILLE STREET, GREENSBORO, NC.

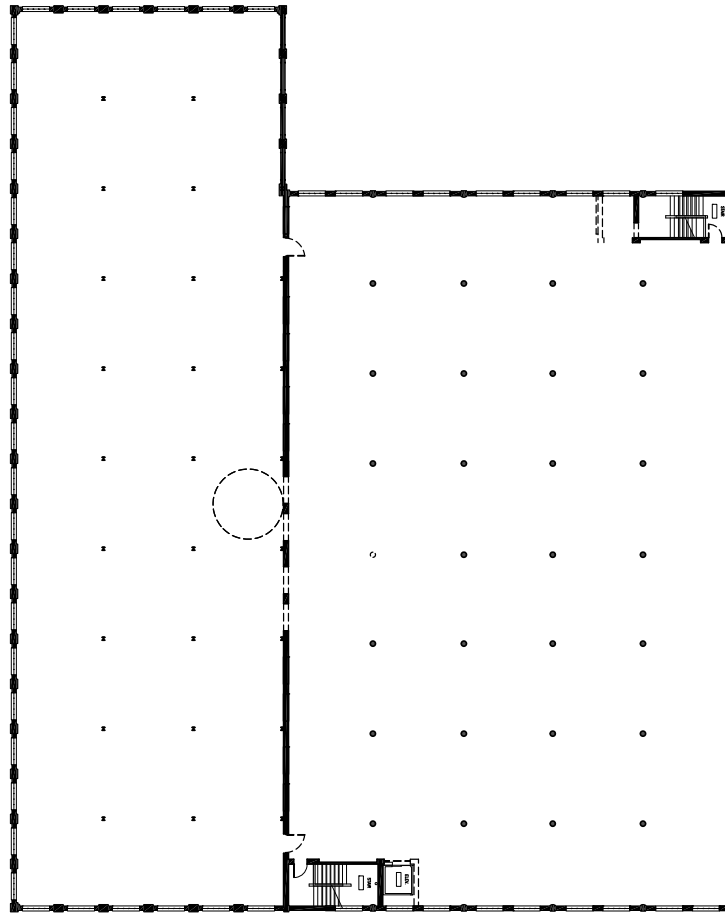




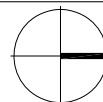
MILL HOUSE  
MEZZANINE LEVEL  
NTS

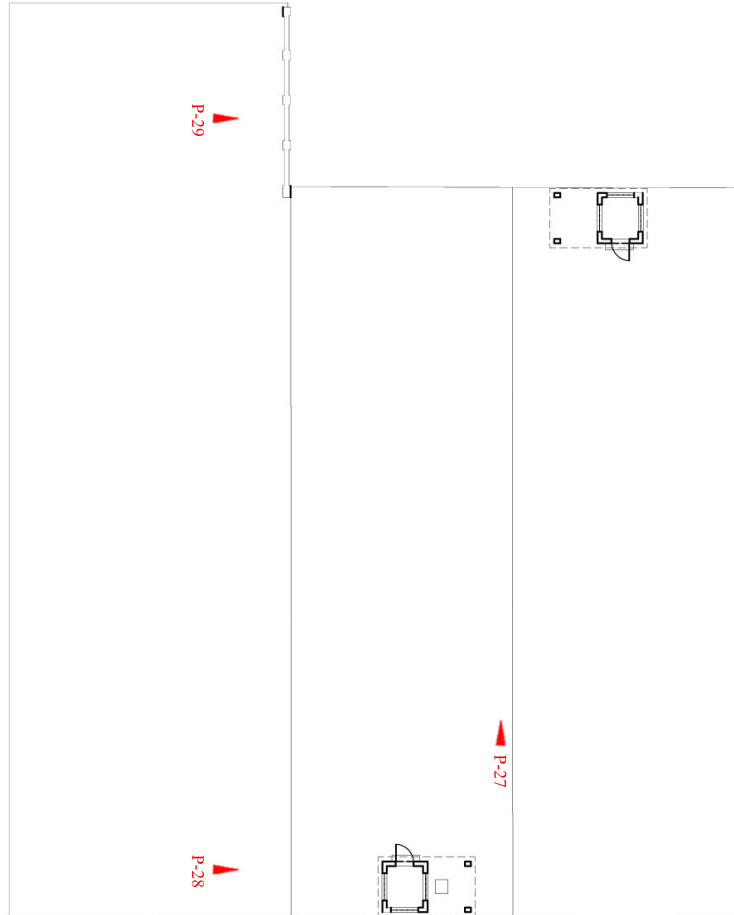




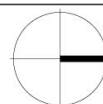


MILL HOUSE  
SECOND - FIFTH FLOORS, TYPICAL  
NTS





MILL HOUSE  
ROOF PLAN  
NTS







p. 01- East elevation showing dock & enclosure to be removed



p. 02- North East corner showing dock & enclosure to be removed





p. 03- Partial North elevation



p.04 - Partial North elevation





p. 05 - Partial North elevation



p. 06 - Partial North elevation





p. 07 - Partial North elevation



p. 08 - Partial West elevation





p. 09 - Partial West elevation



p. 10 - South elevation



p. 11 - Dock and enclosure to be removed, looking South



p. 12 - Dock and enclosure to be removed, looking North and showing the original East facade of the 1915 main warehouse





p.13 - 1st floor of the 1915 Main warehouse looking North East



p.14 - 1st floor of the 1915 Main warehouse looking South East



p.15 - 1st floor of the 1915 Main warehouse looking North West



p.16 - 1st floor building interior of the 1930 warehouse addition Looking South East showing steel structure & wood floor decking between the first and second floor.





p.17 - 1st floor building interior of the 1930 warehouse addition Looking South West showing steel structure & wood floor decking between the first and second floor



p.18 - 1st floor building interior of the 1930 warehouse addition Looking South showing steel structure & wood floor decking between the first and second floor.



p 19 - East stair tower between first floor and mezzanine level showing the winder treads to be modified.



p 20 - At the mezzanine level of the 1915 main warehouse building looking North





p 21 - At the mezzanine level of the 1930 warehouse addition looking West



p 22 - 3rd floor (typical upper floors) of the 1915 main warehouse building looking North West at section of floor to be removed for the atrium.



p 23 - 3rd floor (typical upper floors) of the 1915 main warehouse building looking North



p 24 - 3rd floor (typical upper floors) of the 1915 main warehouse building looking North West





p 25 - 3rd floor (typical upper floors) of the 1930 warehouse addition looking East.



p 26 - 3rd floor (typical upper floors) of the 1930 warehouse addition looking West.



p. 27 - Roof of 1915 main warehouse building looking West



p. 28 - Roof transition of 1930 warehouse addition & 1915 main warehouse building looking North where proposed parapet will be added.





p. 29 - Roof transition of 1930 warehouse addition & 1915 main warehouse building looking North at existing parapet.

**RECEIVED**

**By NC SHPO at 12:28 pm, May 15, 2025**



**HISTORIC PRESERVATION CERTIFICATION APPLICATION  
PART 3 – REQUEST FOR CERTIFICATION OF COMPLETED WORK**

**Instructions:** This page must bear the applicant's original signature and must be dated.

**NPS Project Number  
40664**

**1. Historic Property Name** Mill House - Cloth Warehouse

Street 2005 Yanceyville Street Greensboro, NC 27405

City Greensboro County Guilford State NC Zip 27405

Is property a certified historic structure? ☒ Yes ☐ No If yes, date of NPS certification \_\_\_\_\_ OR date of National Register listing 03/01/1984

**2. Project Data**

Project start date April 01, 2021 Project completed and building placed in service date December 31, 2024

Estimated rehabilitation costs (QRE) \$30,492,589 Total estimated costs (QRE plus non-QRE) \$37,739,330

Number of housing units before/after rehabilitation 0 / 33 Number of low-moderate housing units before/after rehabilitation 0 / 0

**3. Project Contact** (if different from applicant)

Name G. Edwin Belk, FAIA, LEED AP Company Belk Architecture

Street 735 Ninth Street City Durham State NC

Zip 27705 Telephone (919) 286-2575 Email Address eddie@belkarchitecture.net

**4. Applicant** (List all additional owners on next page.)

I hereby attest that the information I have provided is, to the best of my knowledge, correct and that I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011). For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years. Additionally:

- ☐ If I am not the fee simple owner of the above described property, I have checked this box to attest that the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which statement (a) either is attached to this application form and incorporated herein, or has been previously submitted, and (b) meets the requirements of 36 CFR § 67.3(a)(1) (2011).
- ☐ Applicant, SSN, or TIN has changed since previously submitted application.
- ☒ There are no additional owners within the meaning of "owner" set forth in 36 CFR § 67.2 (2011).

Name Dan Levine, Real Estate-Director Signature  Date 3/10/2025

Applicant Entity SHVF Mill House, LLC SSN \_\_\_\_\_ or TIN 47-1971159

Street 301 W. Main St. City Durham State NC

Zip 27701 Telephone (919) 956-4454 Email Address Dan.levine@self-help.org

**NPS Official Use Only**

The National Park Service has reviewed the Historic Preservation Certification Application – Request for Certification of Completed Work (Part 3) for this property and has determined that:

- ☒ the completed rehabilitation meets the Secretary of the Interior's Standards for Rehabilitation and is consistent with the historic character of the property and, where applicable, the district in which it is located. Effective the date indicated below, the rehabilitation of the "certified historic structure" is hereby designated a "certified rehabilitation." This certification is to be used in conjunction with appropriate Internal Revenue Service regulations. Questions concerning specific tax consequences or interpretations of the Internal Revenue Code should be addressed to the Internal Revenue Service. Completed projects may be inspected by an authorized representative of the Secretary to determine if the work meets the Standards for Rehabilitation. The Secretary reserves the right to make inspections at any time up to five years after completion of the rehabilitation and to revoke certification, if it is determined that the rehabilitation project was not undertaken as presented by the owner in the application form and supporting documentation, or the owner, upon obtaining certification, undertook unapproved further alterations as part of the rehabilitation project inconsistent with the Secretary's Standards for Rehabilitation.
- ☐ the completed rehabilitation meets the Secretary of the Interior's Standards for Rehabilitation. However, because this property is not yet a "certified historic structure," the rehabilitation cannot be designated a "certified rehabilitation" eligible for Federal tax credits at this time. The property will become a "certified historic structure" on the date it or the historic district in which it is located is listed in the National Register of Historic Places. On that date, the completed rehabilitation will automatically become a "certified rehabilitation." It is the owner's responsibility to obtain such listing through the State Historic Preservation Office. Questions concerning specific tax consequences or interpretations of the Internal Revenue Code should be addressed to the Internal Revenue Service. Completed projects may be inspected by an authorized representative of the Secretary to determine if the work meets the Standards for Rehabilitation. The Secretary reserves the right to make inspections at any time up to five years after completion of the rehabilitation and to revoke certification, if it is determined that the rehabilitation project was not undertaken as presented by the owner in the application form and supporting documentation, or the owner, upon obtaining certification, undertook unapproved further alterations as part of the rehabilitation project inconsistent with the Secretary's Standards for Rehabilitation.
- ☐ the rehabilitation is not consistent with the historic character of the property or the district in which it is located and that the project does not meet the Secretary of the Interior's Standards for Rehabilitation.

A copy of this determination will be provided to the Internal Revenue Service in accordance with Federal law.

Date \_\_\_\_\_ National Park Service Authorized Signature \_\_\_\_\_

☐ NPS Comments Attached



Articles and Writings



Preservation Magazine, Winter 2024

# Mill Power: Where Workers Once Made Bolts of Flannel, a Busy Mixed-Use Complex Hums Away

More:

[Preservation Magazine](#)

By:

Joe Sugarman

Photography:

Kate Medley

**A**rchitect Eddie Belk, 74 years old and dressed in a well-worn green T-shirt, khaki pants, and a red-and-white North Carolina State University ball cap, looks over what was once an enormous cotton-spinning room at Revolution Mill in Greensboro, North Carolina. It's an impressive scene: two rows of 14-foot-tall heart-pine columns run down the middle of the expanse, longer than two football fields. Sunlight from the clerestory windows above creates patterns on the polished maple floors. White doors with transom windows on each side of this building and an adjacent one lead to 150 apartments with tall ceilings, recycled-glass countertops, and exposed brick walls. "No matter who I bring in here, they get that smile on their face trying to gather it all in," he says, noticing my grin. "It's a wonderful space. I'll come in here just to spend a minute. Just to enjoy it."

Decades ago, this space was impressive for different reasons. This was the heart of Revolution Cotton Mills, at one time the largest cotton flannel mill in the world. The spinning room was where hundreds of looms the size of golf carts clattered away, 24 hours a day. Cotton lint filled the air as fans moving along a track, still present on the ceiling, blew debris off the machines. Giant "air washer" units did their best to suck the particles out of the room. Workers, dubbed "lintheads" by those outside the mill communities, would



leave their shifts covered in dust. Some came down with brown lung disease caused by inhaling fibers or lost fingers to the rapidly moving looms. Millwork was a dangerous job.



Kate Medley

Revolution Mill in Greensboro, North Carolina.

This spinning room is one of nine renovated buildings—six contiguous—on the sprawling 42-acre campus of [Revolution Mill](https://revolutionmillgreensboro.com/) [Link: <https://revolutionmillgreensboro.com/>], a mixed-use development that includes apartments, offices, restaurants, shops, and event spaces. Belk, principal at Belk Architecture in Durham, North Carolina, is eager to show me them all. This is the 14th mill complex that Belk's firm has worked on, and at 750,000 square feet it isn't even the largest. That title goes to the 1-million-square-foot American Tobacco factory: nine buildings in Durham that Belk and his team turned into a mixed-use campus, the first tenants arriving in 2005. All told, Belk says he's redesigned more than 7 million square feet of historic properties since launching his firm on his birthday in 1982. "This is one of my architectural children that I'm proud of," he says of Revolution Mill in a lilting Carolina drawl. "By the time we got to this one, [old mills] were just something that we understood."

We began our tour several hours earlier in what was the distribution warehouse, a five-story, brick-clad building that dates to 1915 (with a 1930 addition). Here, workers would store reams of finished flannel awaiting pickup via trains on adjacent tracks. Belk's firm ended up removing a 40- by 40-foot section of the building's interior to create a soaring

atrium topped by skylights. At night, LED lights mounted on metal rings around concrete support columns shine upward. "It's just a beautiful sight," he says.

Traces of the building's prior use can be found throughout: nicks on the columns from careless forklift operators, scorch marks from some past fire, an old bale press repurposed into a bench. On one concrete support someone has scrawled, "T.W. Nelson, Aug. 27, 1969."



For the interior public spaces at Revolution Mill, architect Eddie Belk retained the complex's soaring ceilings, huge industrial windows, and original hardwood floors.





The former mill spans Greensboro's  
North Buffalo Creek.

When Belk and his team surveyed the property in 2013, they found the majority of the mill buildings structurally sound. The sturdy columns and floors had done their jobs, but most structures required new roofs. As in many Southern mills, at some point the windows throughout the complex had been bricked over, as the advent of air washing systems and fluorescent lighting replaced natural ventilation and sunlight. During the rehabilitation, crews removed these bricks and repaired and replicated hundreds of windows and frames throughout, including in the warehouse, dubbed Mill House.

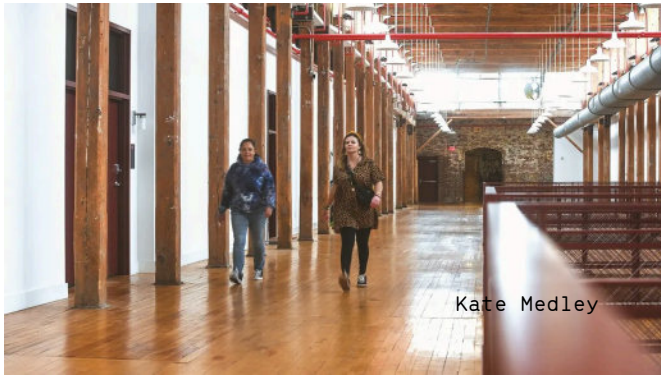
These days, the warehouse holds a coworking space, a nail salon, a cosmetic medical office, a future eatery and market, and three apartments on its ground floor. Upper floors contain another 30 apartments as well as office space, including the homes of two national textile design firms. More than four decades after Revolution Mill's looms went silent, the textile industry has returned. "These companies have all decided, 'Well, let's go back to the mill,'" says Belk. "It seems very appropriate, doesn't it?"

**R**evolution Mill's roots date to 1891, when brothers Moses and Ceasar Cone, the two eldest sons of a prominent German-Jewish immigrant family in Baltimore, formed the Cone Export & Commission Company to broker Southern textile products. Soon they decided to operate their own mills and built their first Greensboro plant, Proximity Cotton Mills, which began weaving denim in 1896. Revolution was the brothers' second mill; they opened it in 1899 with business partners Emanuel and Herman Sternberger

specifically to produce cotton flannel. Six years later the Cones finished building White Oak Cotton Mills, which became the world's largest denim factory, eventually supplying material for Levi Strauss, Lee, Wrangler, and others. Proximity Print Works, opened in 1912, was the South's first plant to specialize in printed cotton fabrics.

Like other mill owners in the region, the Cones built self-sufficient villages for their employees. The company provided land for churches, stores, schools, playing fields, and recreation centers, and constructed hundreds of simple clapboard company-owned houses that workers leased. Black employees lived in a separate village and often worked lower-paying jobs at the mills or toiled in the houses of company higher-ups who occupied an area dubbed "Snob Hill." By the 1940s, more than 2,600 workers lived in 1,500 houses around the four plants.





The massive hallway of the former  
cotton-spinning room.

But by the 1970s, the American textile industry was in decline, as manufacturing jobs moved overseas. Revolution Mill produced its last flannel in 1982, and the complex was left to deteriorate. The local economy also declined as workers sought opportunities elsewhere. The other Cone mills closed, with White Oak hanging on until early 2018—one of the last remaining denim mills in the country.

Proximity Cotton Mills was razed, and many thought Revolution Mill would suffer the same fate. “Mills were not celebrated as part of North Carolina history at all,” says Benjamin Briggs, head of Preservation North Carolina, who previously consulted on the rehabilitation of Revolution as executive director of Preservation Greensboro. He says lawsuits from brown lung and the rapid decline of United States-made textiles precipitated the demolition of historic mills across the state. “How did you deal with our deep textile mill history?” asks Briggs. “You got rid of it.”



Kate Medley

Butcher Taylor Armstrong helps a customer at Kau butcher shop and market, which will move to another Revolution Mill building soon.

But starting in the late 1990s and into the 2000s, a couple of local developers, Jim Peebles and Frank Auman, saw an opportunity. They purchased Revolution Mill and transformed several buildings into office and event space. Although the economic bust of 2008 forced the pair to abandon their plans, Briggs credits the duo with saving the complex. In 2012 one of their creditors, Self-Help Ventures Fund, a Durham-based nonprofit and community development lender, acquired the property. It has since pumped more than \$140 million into the project, with just over \$40 million coming from federal and state historic tax credits and about \$13 million from New Markets Tax Credits. The National Trust Community Investment Corporation (NTCIC), a for-profit subsidiary of the National Trust, provided critical tax credit financing needed for the [Mill House rehabilitation](https://ntcic.com/projects/revolution-mill-house/) [Link: <https://ntcic.com/projects/revolution-mill-house/>], completed in May 2023.

Self-Help tapped Chicago native Nick Piornack, who had previously redeveloped historic buildings in Greensboro's South End into a bustling restaurant and entertainment scene, as business development manager. Piornack says his role was to help "sell the sizzle," but at that point, there wasn't much of a spark. Although the mill sits just two miles northeast of downtown, it might have been another world. "The people downtown and in more wealthy areas had no reason to come here," says Piornack, now general manager of the property. "It's an old mill and it's collapsing. How the heck are we going to get this thing back on the map?"



Piornack thought Revolution Mill was a project that “people had to touch.” He began inviting different groups— young professionals, garden clubs, Rotary clubs, Kiwanis members— luring them with the promise of free food and drinks and “behind the scenes” tours. Using renderings created by Belk, he painted pictures of the mill’s future. “You’ll see this place in two years and you won’t believe it,” he told them. For several years, Piornack sold the promise, telling everyone he could. “All of a sudden, the buzz started,” he says. “People were telling people, ‘Boy, you won’t believe what they are doing over there!’ It just snowballed.”



Artist Felix Semper has held studio space at the mill since 2014.

The first tenants were artists, who loved the natural light the large windows provided. Among them was Felix Semper, who originally set up his studio in what was Revolution's two-story dye house. Now his studio occupies one of five remaining structures that formerly held equipment for the air washing system. Under a bank of windows, Semper paints pop culture sculptures—Pringles cans, Nike shoes, Superman's head—that he creates from thousands of pieces of cut and glued paper. When finished, they fancifully expand and contract like accordions. "This building is an inspiration for creativity," says Semper, born in Cuba, whose work has been collected by celebrities from Paula Abdul to Ryan Seacrest. "The lighting is incredible, and I get my sparks of creativity here. You feel the history of the building and it just inspires me. An artist needs that."

As Belk leads me around the complex, I'm amazed at the variety of businesses here. There are law offices and logistics firms. A biomedical lab and a yoga studio. Headshots line the walls of a modeling agency. In a room decorated with framed vintage shirts made from Revolution Cotton Mills flannel, the owners of a "wine concierge" set up for a tasting.

According to Piornack, there are about 140 businesses in all, and nearly every space has been claimed. Incredibly, he says, just one business failed during the pandemic. Self-Help was able to process Paycheck Protection Program (PPP) loans quickly through its credit union, and rent payments were deferred when necessary.

**"The lighting is incredible, and I get my sparks of creativity here. You feel the history of the building and it just inspires me."**

**—Felix Semper**





Kate Medley

Danielle McCallum, a leasing specialist at Revolution Mill, takes a break in one of the community's many public areas.

One of the most unusual spaces is occupied by Evan Morrison, a local textile historian, who organizes the many artifacts and historic displays that line Revolution Mill's hallways. His jam-packed suite houses what he says is one of the largest collections of iconic 20th-century American-made clothing in the world. He dives into several racks and drawers and emerges with Knute Rockne's Notre Dame football sweater, one of the earliest leather motorcycle jackets ever made, and the first documented, handwritten order placed by Levi

Strauss for White Oak Cotton Mills denim in 1913.

Nearby, in a room at the shuttered White Oak mill, Morrison and a few volunteers weave denim using several of the original looms, selling the material to premium jeans manufacturers. He hopes that White Oak will be preserved, and that he'll be able to open a museum inside dedicated to Greensboro's textile history. "It's got such an importance to Greensboro that if we didn't do it, the city would no longer have its own history," he says, comparing the idea to Atlanta's museum dedicated to The Coca-Cola Company, the brand that historically served as an economic driver for the city.

The front walls of Morrison's Revolution Mill space, like most offices at the complex, are glass. Belk designed the offices that way so visitors could see through, preserving the enormity of the space.

"You want to experience the buildings," he says. He also left the rows of heart-pine columns that repeat along most hallways exposed, without incorporating them into the walls—a feature he employs in every mill project. "We never engage walls with columns for two reasons," he says. "First, the columns are never quite plumb and straight, so you get nasty little connections. Second, you lose that dramatic rhythm of the building if you don't build the wall as a backdrop to that structural rhythm."



Briggs calls that design element an “Eddie Belkism.” Another, Briggs points out, is the way the architect exposed a cross-section of flooring by the main staircase in the former weave room building, where looms turned thread into cloth. From bottom to top, the cross-section shows a layer of roughly 3-inch-thick timber decking, a 1-inch subfloor, and a 0.75-inch tongue-and-groove maple finish floor. Visitors can see just how thick the flooring needed to be to accommodate the enormous equipment. “It had to be overbuilt because these giant looms had momentum,” says Briggs. “They would literally shake the building.”



Kate Medley

Veneé Pawlowski owns Black Magnolia Southern Patisserie, a bakery in the former machine shop.

We stop for a break at Peace of Her by Lou, a juice bar owned by Lindsey Chavis, who says for years she would drive by the mill buildings and wonder what they were. Chavis says she fell in love with the mill’s hardwood floors and brick. “Just the history of this place!” she exclaims. “To know that so many people worked here when it was a whole other thing and then we create this new space for so many people. It’s just amazing.”

After a smoothie, Belk and I duck into the former machine shop, a separate structure built in the 1920s that’s now home to Cugino Forno Pizzeria and its three 7,000-pound wood-burning ovens, constructed from Mount Vesuvius volcanic rock. Black Magnolia Southern Patisserie occupies this same building, and fills its display cases with items like bourbon banoffee (banana-toffee) cinnamon rolls and upside-down apple praline biscuits. Owner

and pastry chef Veneé Pawlowski, hands covered in flour, tells me she often thinks of the people who used to work in the mill and what they would think of it now. “I bet the workers probably would have enjoyed having a bakery here back then,” she quips.



Lindsey Chavis owns Peace of Her by Lou, a juice bar located in the Revolution Mill complex.



Adam Aksoy is a co-owner of Cugino Forno Pizzeria, located in Revolution Mill's former machine shop.



Belk and I end our tour in what was once the mill's 9,000-square-foot carpentry shop, now home to Kau, a restaurant/bar and market/butcher shop. It's a gorgeous space, with heavy pine beams, a polished concrete floor, and a restored monitor roof.

Chef-owner Kayne Fisher's friends were surprised he would even consider a building that had been vacant for decades. But when he toured the former carpentry shop in 2015, despite its broken windows and scattered trash, something clicked.



The owner of Kau, chef Kayne Fisher, decided to take a chance on the complex in 2015.

"We walked in and I looked up and saw the beams and decking and monitor roof and I got chills. I said, 'Yeah, I'll do a restaurant here.' You can't re-create this. You can try, but you can't. It's a one-of-a-kind place."

Revolution Mill remains a work in progress. Fisher will be moving his butcher shop and market to Mill House in mid-2024, and adding an

eatery with quick bites to the new space. (His restaurant will remain in its original location.) Plans call for developing a new boutique hotel on the grounds adjacent to Mill House, and turning a midcentury warehouse into a brewery and coffee roastery.

The mill's rebirth has spurred other development in the area, including the Cones' Proximity Print Works mill, which developer The Alexander Company recently adapted into 217 affordable and market-rate apartments, a storage facility, and commercial space.

Belk, meanwhile, is concurrently working on his 15th and 16th historic mills, both North Carolina cotton mills. The architect says his mill rehabilitation work has become a personal calling.

**“To know that so many people worked here when it was a whole other thing and then we create this new space... it's just amazing.”**

—Lindsey Chavis

He tells me he sometimes wonders what it would have been like to have worked on a spinning-room floor. His maternal grandfather and his father-in-law both spent their lives fixing looms in mills and suffered significant hearing loss doing it.



"I tell people when I'm doing these buildings, 'I feel like I'm walking in my grandparents' footsteps.' And I'm hoping that we're doing a good enough job in these buildings [so] that someday my grandchildren will walk in my own."

*The [National Trust Community Investment Corporation \(NTCIC\)](https://ntcic.com/) [Link: <https://ntcic.com/>], a for-profit subsidiary of the National Trust, supported the Revolution Mill complex's Mill House project with \$6.1 million in federal historic tax credit equity and a \$5 million New Markets Tax Credit allocation.*

## **Donate Today to Help Save the Places Where Our History Happened.**

Donate to the National Trust for Historic Preservation today and you'll help preserve places that tell our stories, reflect our culture, and shape our shared American experience.

Joe Sugarman lives in Baltimore and is a frequent contributor to Preservation magazine.

## North Carolina



### The Mill House - Revolution Mills Complex

Greensboro, NC (2021)

The Revolution Cotton Mills, built between 1900 and 1915 in Greensboro, North Carolina, once symbolized the South's burgeoning textile industry. By the 1930s, it had become the largest exclusive flannel mill in the world. However, changing market conditions led to its closure in 1982, leaving the mill vacant and deteriorating for nearly 40 years. Located in a community with a 28 percent poverty rate and a median family income of 56 percent, the complex's decline represented a lost opportunity for economic and social revitalization.

### FINANCING

**NMTC Financing:** National Trust Community Investment Corporation, RBC Community Capital, Truist: \$18.5 million  
**Equity Investor:** Truist Community Capital, LLC  
**Total Project Cost:** \$37.7 million

### IMPACT

- 225 construction jobs
- 250 permanent jobs
- Entrepreneurial education and business incubation space; below-market rents for nonprofit and community-based organizations; restaurant and retail space targeting start-up and early-stage independent operators

### COMMUNITY

- Poverty Rate: 28.1%
- Median Income: 55.7% of the AMI

"The Mill House redevelopment is the final piece for the vibrant Revolution Mill campus. The project will bring even more opportunities for small businesses to thrive and continue the sense of community and entrepreneurship that is brewing on the campus."

-Kathleen Galvan, NTCIC's Senior Project Manager, who oversaw the financial closing

**A transformed storage warehouse provides affordable commercial and incubation spaces for growing local businesses and mixed-income housing options for the neighborhood.**

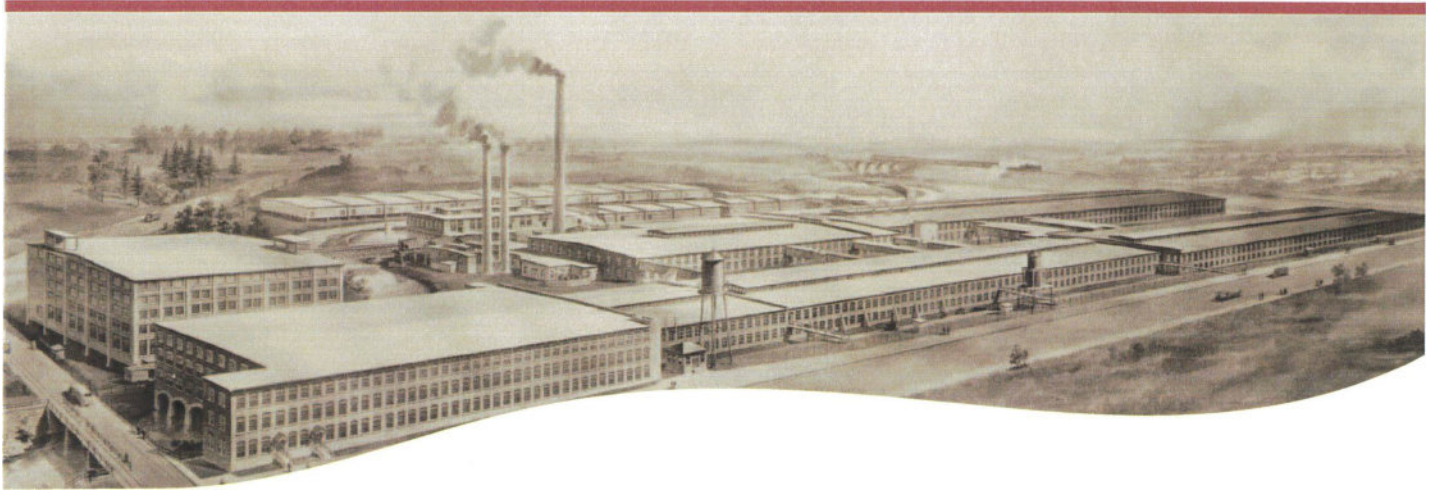
The Mill House project aimed to restore the last piece of the Revolution Mills Complex, transforming it into a mixed-use development to benefit the surrounding community. To bring the Mill House project to life, NTCIC, RBC Community Capital, and Truist (the NMTC equity investor) provided \$18.5 million in NMTC financing, contributing to the total development cost of \$37.7 million. NTCIC also provided \$6.1 million in federal Historic Tax Credit financing. This support was critical in ensuring the successful revitalization of the Mill House, enabling it to offer affordable housing, commercial spaces, and business incubation services to the community.

The development includes 33 mixed-income residential units, over 57,000 sq. ft. of commercial space, and nearly 10,000 sq. ft. of coworking space. The business incubator managed by Self-Help Credit Union supports 25 small businesses annually, fostering local entrepreneurship. The NMTC allocation allowed the development to market the small business and office space at below-market rents for local, target construction subcontracting and below-market tenant spaces to minority and women-led businesses. The project team anticipated that over half of the restaurant and retail businesses would be minority-owned.

The redevelopment effort created 225 construction jobs, all offering full benefits and wages above the living wage, and the completed facility generated 250 permanent jobs. The Mill House project not only revitalized a historic landmark but also provided essential economic opportunities and resources to a community in need.



# TANNENBAUM STERNBERGER FOUNDATION



## A REAL REVOLUTION

### Introduction

For more than eighty years, the Revolution Cotton Mill produced flannel and other fabrics at a red brick complex astride Buffalo Creek in Greensboro, North Carolina. When it was founded in 1899, the idea of making flannel in the South was a revolutionary one – hence the name Revolution. By the time the mill closed in 1982, revolutionary changes had indeed come to the textile industry, the city of Greensboro, and the North Carolina Piedmont in ways that went far beyond the production of flannel cloth.

Founded by two sets of brothers, Moses and Ceasar Cone and Emanuel and Herman Sternberger, Revolution was a key building block of the company that would become Cone Mills Corporation, for decades the world's largest producer of denim. Revolution was at one point the largest flannel mill in the world, and its bleachery and dye-works were the first such facilities to be located in the southern states.

At the turn of the twentieth century, the textile business in the United States was centered in New England, and the population of Greensboro numbered less than 6,000. By 1925, the textile industry was well into its inexorable southward migration, and Greensboro had become a prosperous city and a diversified business hub with a population of 25,000. It is no exaggeration to say that the coming of

textile manufacturing changed the way of life for the people of the region, who for more than a generation had languished in the poverty that followed the War Between the States. Textiles represented the advent of the industrial revolution in a land of hard-scrabble farming. Revolution and its sister mills created great wealth, not just for their owners but as economic engines that directly or indirectly employed thousands and stood at the center of communities of neighborhoods, churches, and schools. The effect was dramatic. To choose one example, illiteracy in the Cone Mill villages dropped from some 40% in 1895 to less than 1% in 1925.

The men who built Revolution had no doubt that they were in on something important. You can see it in the contemporary portraits of the mustachioed Cone and Sternberger brothers; this was the era that birthed big business – even monopolies – and the Cone mills were the product of a visionary management team. There was talk in the 1890s of a "New South," and these men thought they were the ones to build it.

More than a century after the Revolution Mill was founded, the textile industry began its next great migration, leaving the southeastern United States for Asia and Mexico just as it once left the river valleys of New England for the low-cost environs of the American South. The red-brick buildings still sprawl on both sides of Buffalo Creek, home now to offices, businesses, and residences.

## Building a Business

The South's first flannel mill was a long-planned innovation. The Cone brothers, who made their initial investment in a North Carolina cotton mill in 1887 and founded the Cone Export and Commission Company in 1890, had wanted to add flannel to their product line for years, but the financial panics that punctuated the 1890s twice delayed the project.

Finally, the Cones partnered with Emanuel and Herman Sternberger, who were able to provide the additional capital and management talent needed to get this critical element of their plan off the ground. On January 11, 1899, Emanuel Sternberger, already a successful retailer in Clio, South Carolina, signed a contract with Moses Cone at Greensboro's Benbow House Inn to create the Revolution Cotton Mills. The Cones' Proximity Manufacturing Company would own 75%, while Sternberger and his brother, Herman, controlled the remainder.

It is said that the original name considered for the mill was "Revelation, because the ability to make flannel in a Southern mill would be an eye-opener for the industry, but concerns about appropriating the Biblical name led to the adoption of "Revolution."



The Cones knew the Sternbergers from their days traveling the Carolinas for their family's Baltimore-based wholesale grocery business, H. Cone and Sons, and Emanuel Sternberger had at one point managed a shoe factory owned by Moses Cone in Asheville. Emanuel Sternberger was a successful



Emanuel (seated) and Herman (standing) Sternberger. Circa 1900s.

Photo courtesy of Jeanne Tannenbaum

businessman in his own right, the former owner of a Pennsylvania shirt factory and proprietor of what was said to be the largest department store in South Carolina.

The Cone family patriarch, Herman – father of Moses and Ceasar – was a Jewish immigrant from Germany who found prosperity in the United States after settling in Jonesboro, Tennessee. Emanuel Sternberger shared a similar background as a native of Nedlingen, Germany, who also settled in the small-town South. Both families were tightknit – Emanuel insisted on bringing his brother, Herman, a small-town grocer himself, into the Revolution deal, while the Cones were remarkably close and loyal to their ten brothers and sisters. It seemed like an auspicious match, and it was.

The vision that would lead to Revolution was conceived as the Cone brothers traveled for their grocery business, sometimes riding on horseback to reach places where the railroads left off. Moses and Ceasar Cone would often trade for or take on consignment cloth produced at local Southern mills, to be resold in distant markets. Much of the cotton grown in the southern states was shipped to England or New England to be turned into cloth, but there were about 50 mills in the South by 1890. These mills were not sophisticated: roughly 95% of production was dedicated to low-end cotton plaids, and there were no value-added operations such as finishing or bleaching located within hundreds of miles. The brothers saw an opportunity to brand and resell this cloth – which was cheap to produce in part due to federal tax breaks – and set about signing up mills to represent as marketing agents.

By 1891, when the Cones founded the Cone Export and Commission Company to handle their growing business of marketing cloth from regional mills, approximately 90% of Southern fabric producers were on board with their marketing consortium. In the era of Rockefeller and Morgan, this new business built on the cheap cloth of the South was referred to jokingly as "The Plaid Trust." The

Cones prospered with brands of cotton cloth with names such as Snowball, Pilot Plaids, and Cotton Club.

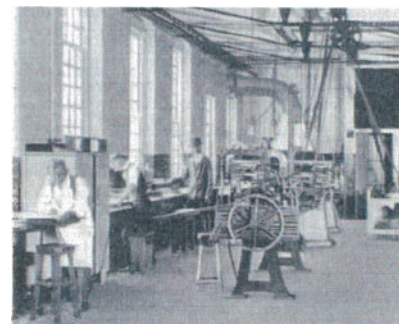
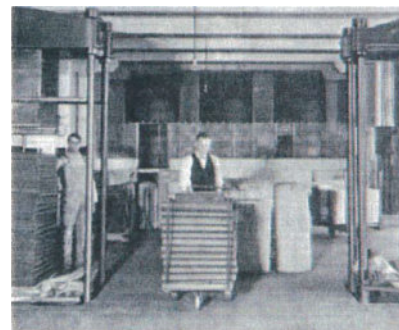
But representing mills owned by others left the Cones vulnerable to the whims and missteps of the mill owners, and they soon realized the value of controlling production themselves. In 1887, they had invested in the C.E. Graham Manufacturing Company in Asheville, a maker of plaid fabrics, and the next year they had helped back the Salisbury Cotton Mills and Mineola Mills.

It was in Greensboro, though, that the Cones got into manufacturing in a big way. Greensboro offered large tracts of land that were already designated for industrial use, the leavings of a planned iron and steel operation that never got off the ground. The city also boasted a railroad junction that made it an ideal base for a manufacturing and distribution operation.

In 1895, Moses and Ceasar Cone launched the Proximity Manufacturing Company, naming the firm for its proximity to the cotton's source in southern fields. The first mill, also called Proximity, would make denim for some 80 years, in which time the sturdy fabric went from the stuff of work-clothes to one of the defining fashion statements of the twentieth century.



Four years after founding the Proximity Manufacturing Company, with the tumultuous 1890s finally behind them, the Cones were at last able to follow through on their plans to build a flannel mill. Revolution, the mill said to be "so modern that it could revolutionize the manufacture of cotton in the South," went up on a 75-acre lot located about a mile from Proximity. It would quickly prove to be a ground-breaker in ways that went well beyond its location.



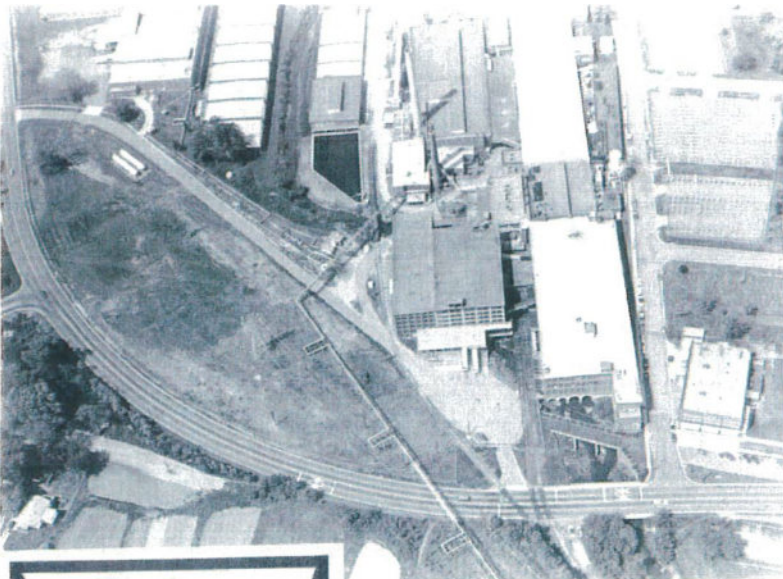


# Revolutionary Times

Innovation was always a hallmark of the Revolution Mill, starting with the way it made the fabric that would soon allow Proximity Manufacturing to claim "World Leadership in Flannels." Ceasar Cone wanted to weave the popular cloth known as Canton flannel in strips wider than the traditional 12-inch pieces produced in other mills. This new "cutter's width" was more convenient for the workers who cut flannel for garment-makers, and it quickly proved a hit.

In 1909 came a milestone in the textile industry's historic southward shift, when Revolution added a bleachery to its production facilities. This meant that the gray fabrics coming off the looms could be bleached on site to prepare them for dyeing or sale. This was a key step because it transferred a major value-added process to the repertoire of the southern producers, who had previously shipped cloth to Bondsville, Massachusetts, for bleaching.

Revolution was also the first flannel mill in the South to dye its own cloth. For a time the world's largest flannel producer, it kept up with the high-tech of its era for generations. In the 1930s, new dyeing equipment produced colors that wouldn't run. That process allowed Revolution to pursue a Cone strategy that dated back to the 1890s, creating and selling new brands of high-quality fabric.



Aerial View of Revolution Plant

There were shaky moments, but Revolution boomed, and so did the rest of the Cone mills. Moses Cone died in 1908, followed by his brother Ceasar in 1917, but the business did not slow down. The Cones were succeeded by their brothers Bernard and Julius at the helm of a thriving company that in time became known as Cone Mills Corporation. It was for decades the largest employer in Greensboro and surrounding Guilford County, a global leader in denim, flannel, corduroy, and finishing and one of the largest publicly-traded textile companies in the United States.

When Emanuel Sternberger died in 1924, the Cones bought out his stake, bringing Revolution fully into the Cone stable of assets. Yet the Sternberger family remained closely associated with Revolution, with Herman Sternberger serving as treasurer for many years and his son, Sigmund, holding the same position well into the 1950s.

Age began to catch up with the Revolution in the years after World War II. Rayon production was introduced as the flannel market flagged, but it did not take off as hoped and was shut down. Later, production at the big brick complex shifted in large part to corduroy. Revolution finally closed its doors in 1982. Almost a century after the textile industry had begun its migration from New England to North Carolina, it was beginning to migrate again. In the early years of the twenty-first century, Revolution became the home of a business incubator and then opened as an office and events space. Self Help began a full-scale redevelopment of the site in 2013.

In the end, the Revolution Mill really was part of something revolutionary – it helped bring the industrial revolution to the North Carolina Piedmont. Life changed for the inhabitants of the new mill villages. Those villages, with their homes and fruit trees, their schools and churches, were eventually absorbed into the City of Greensboro, which itself is to some extent a byproduct of the mill economy. The New South as envisioned by the Cones and the Sternbergers is the real legacy of Revolution and its sister mills.

Produced by the  
*Tannenbaum-Sternberger Foundation*  
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MARIELLE ARGUEZA

Preserving historical features like the mill's iconic smokestacks was a key component to financing the renovations at Revolution Mill through historic tax credits. (Photo by Marielle Argueza)

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# The World's Biggest Flannel Mill Sat Vacant for Decades. A CDFI Gave It New Life.

# A North Carolina CDFI tapped into diverse funding sources to turn the 50-acre industrial property into a mixed-use development with affordable housing.

STORY BY

[Marielle Argueza](#)

PUBLISHED ON

**Feb 10, 2025**

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BECOME A MEMBER

With huge red brick smokestacks that jut in the sky, Revolution Mill is hard to miss. The 800,000-square-foot former flannel mill was one of the dozens of industrial mills in Greensboro, North Carolina.

When fully operating, the mill was a cornerstone of the local economy. It changed the lives of thousands of residents, providing consistent work for decades and permanently shaping the landscape. The Cone Mill Corporation, which owned Revolution Mill, built employee housing in the surrounding hills. Today, the simple one-story “mill houses” dot northeast Greensboro.

But in 1984, with demand for flannel plummeting, the mill ceased operations. For nearly two decades, it sat in disrepair.

Durham-based Self-Help – a community development financial institution that include two credit unions, a nonprofit loan fund, and a research and policy affiliate – began as the lender to the property’s developer. Their role was to find money to support the project, not take the lead on it. But in 2008, the Great Recession threw a wrench in the project and halted further progress.

Self-Help began walking their clients through foreclosure — but instead of going ahead with the process, Self-Help decided to develop the property themselves. By 2012, the historic property officially belonged to the credit union. With the textile industry gone, Self-Help decided to restore Revolution Mill and [give it a new life as commercial and retail space](#), eventually adding a housing component with industrial loft-style apartments.





A view of the Revolution Mill campus. (Photo by Self-Help/Joey Seawell)

Taking on a 50-acre property amidst a real estate crisis would be a huge risk for most banks. But Self-Help isn't a typical banking operation. As a CDFI, its primary goal isn't to line its investors' pockets. Their stakeholders are rooted in the local communities they serve, like Greensboro. That means that in their capacity as property investors, real estate developers, builders, and project collaborators, everything they do has to make both economic and cultural sense for the community.

A lot made sense to them about the property, despite its size. There is still today a generation of residents who remember working at Revolution Mill. The property was once [the biggest flannel mill in the world](#), according to UNC Greensboro researchers. It also helped that Self-Help Founder Martin Eakes was born and raised in the city, and that the bank had just completed its downtown nonprofit center just two miles from the site. The way Self-Help's leaders saw it, it would have been a waste of historic, cultural, commercial, and residential space if Self-Help didn't step in.

Emma Haney, the current director of business and project management for Self-Help, was just an intern in the early days of Revolution Mill. "It's really because of our role as a lender, and because we also had this capacity as a community real estate developer to kind of step in and take on such a large project and a complicated, credit investment structure that we consider doing," she said.

There are more than 140 businesses and nonprofits now operating in the building including restaurants, cafes, art galleries, and event spaces, according to Haney. In the summer of 2024, a free city trolley that runs directly from the property to downtown Greensboro made Revolution Mill even more accessible to the public.

“It’s gigantic just in terms of the impact of space that was sitting there vacant before, but is now active in some way and bringing people to [the mill],” said Haney. “You can count the people that live there, and you can count the businesses that live there, and those are the people day in and day out on campus.”



Self-Help made deliberate choices to preserve the historic architecture of the former textile mill, including keeping the original maple floors—patching areas only where it was necessary. (Photo by Marielle Argueza)

Self-Help’s unique position as a CDFI gave its team a deep understanding of what funds were available to keep developing the property as a commercial space—and eventually a residential project too. Because [the property was recorded on the National Register of Historic Places in 1984](#), Self-Help had access to historic tax credits. But they also tapped into [new market tax credits](#), available to CDFI to help develop economically “depressed” areas, and even some city funding to help restore and renew the property.

Access to this diverse pool of funds meant lower construction costs, which eventually meant allowing them to think beyond [the original project](#) and bring in some new collaborators.

For example, historic tax credits which reward developers for keeping the majority of important historical elements of the building, like the original brickwork, maple floors, and the iconic towering smoke stacks—allowed Self-Help to add an affordable housing element. At the moment, they have 184 units, 20% of which are affordable housing. “In this part of town, that’s a lot of housing,” said Haney.





Residents who live in the industrial-loft style apartments have easy access to the commercial and retail areas of Revolution Mill through the several of the mills walkways, accessible on the second story. (Photo by Marielle Argueza)

Institutions like the city and local universities were funders and collaborators too. Greensboro's Parks and Recreation Department helped bring federal Greenway Funding. Those funds brought a new recreation trail and helped restore the North Buffalo Creek that runs through the property.

UNC Greensboro was essential in preserving and unearthing the history of the mill. Curated by UNCG researchers, small history exhibits can be spotted along some of the corridors of the property, and a permanent history museum memorializes the cultural and economic impact of the former mill in photographs and old machinery.

"The more you zoom out, the more you see just sort of like tens of thousands of people being able to interact with this campus that really would not have ever been able to without redevelopment," Haney says.

*This story is part of our series, [CDFI Futures](#), which explores the community development finance industry through the lenses of equity, public policy and inclusive community development. The series is generously supported by Partners for the Common Good. Sign up for PCG's CapNexus newsletter at [capnexus.org](#).*

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*Marielle Argueza was formerly Next City's Equitable Cities Reporting Fellow for Racial Justice Narratives (in partnership with Triad City Beat in Greensboro, North Carolina) and Next City's INN/Columbia Journalism School intern. She has more than a decade of experience reporting on education, immigration, labor, criminal justice, climate and more. Her work in K-12 education is award-winning and she was recognized multiple times by the California News Publishers Association. She is a recent graduate of Columbia Journalism School, where she was Toni Stabile Investigative Fellow. Her work includes a story on Harlem's last assisted-living facility for people living with HIV/AIDS; a profile on New York State's first Farmers Union; and a database of deaths within the Milwaukee County Jail. She is also a recipient of other fellowships and scholarships from several notable organizations including the Asian American Journalists Association, Association of Alternative Newsmedia, ProPublica, and the Journalism and Women Symposium.*



## INSTITUTIONAL MEMBERS



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**Associate  
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Washington,  
Florida, United  
States

**City Planning  
Director**

Milwaukee,  
Wisconsin, United  
States

**Executive  
Director**

Detroit, Michigan,  
United States

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## **GUILFORD COUNTY PLANNING AND DEVELOPMENT**

## **Historic Preservation Commission Staff Report for Local Historic Landmark Designation**

### **Property Information**

**Name:** Mill House at Revolution Mill

**Address:** 2005 Yanceyville St, Greensboro, NC 27405

**Tax Parcel:** 26775

**Owner(s):** SHVF MILL HOUSE LLC

### **Proposed Designation Boundary**

The proposed designation includes the entire approx. 3.48-acre lot, the exterior of the mill house building, and the following specific interior features: (1) cast-in-place concrete columns and (2) brick party wall between the 1915 structure and the 1935 addition.

### **Required Findings**

Per North Carolina General Statutes § 160D-945, "No property shall be recommended for designation as a historic landmark unless it is deemed and found by the preservation commission to be of special significance in terms of its historical, prehistorical, architectural, or cultural importance and to possess integrity of design, setting, workmanship, materials, feeling, and/or association."

### **Motion Template**

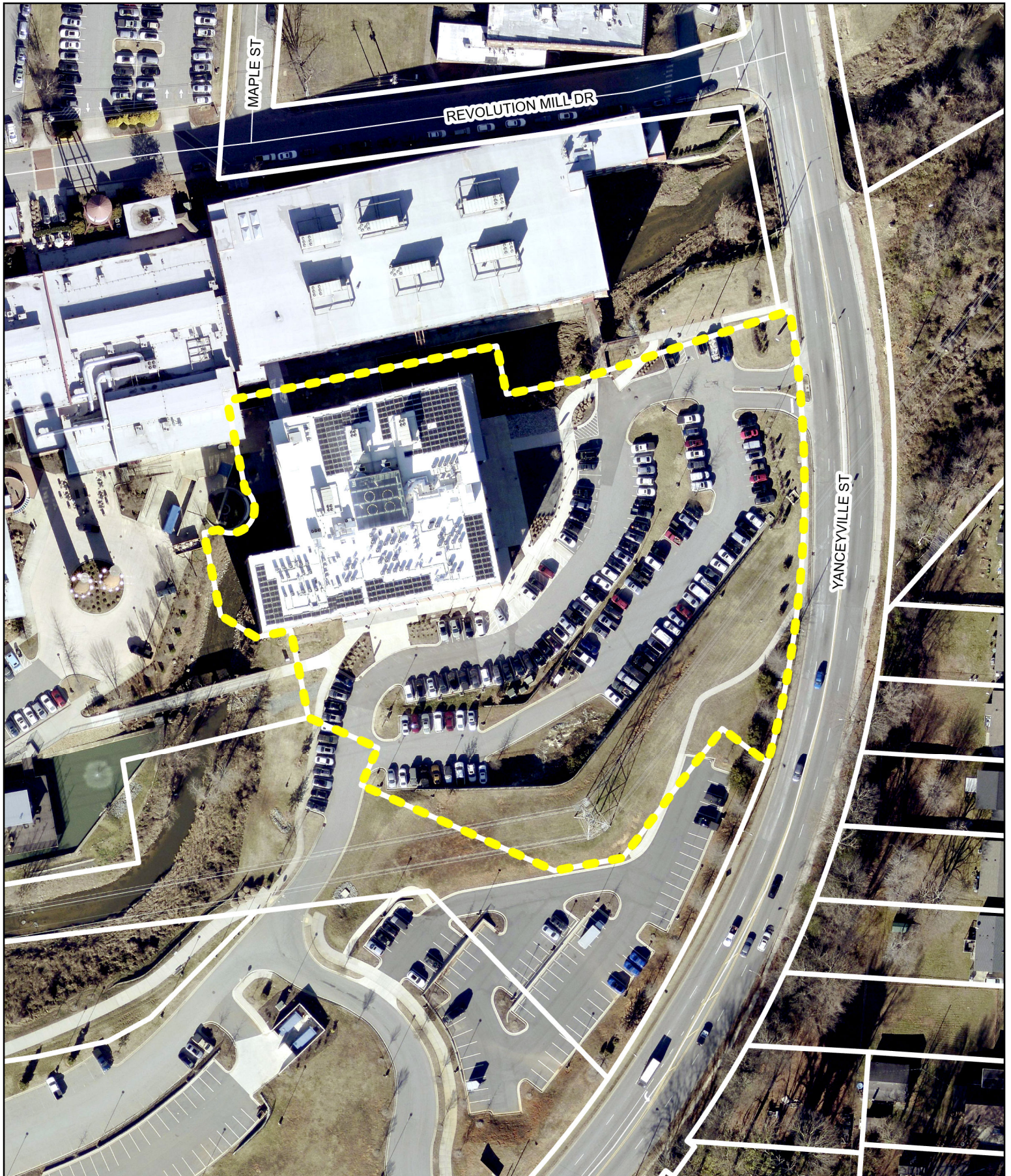
"I move that the Guilford County Historic Preservation Commission recommend **approval/denial** of Landmark Designation Case #25-06-HPC-00006 for the subject property, identified as the Mill House at Revolution Mill, located at 2005 Yanceyville Street, being Guilford County Tax Parcel #26775, comprising approximately 3.48 acres and owned by SHVF MILL HOUSE LLC, based upon:

- (1) Describe whether or not the property is of special significance in terms of its historical, prehistorical, architectural or cultural importance;**
  - a. If the property does have special significance, describe the elements of the property that are integral to its historical, architectural or prehistorical value;**
- (2) Describe whether or not the property possesses integrity of design, setting, workmanship, materials, feeling and/or association;**
- (3) If moving to recommend approval, specify what features are included in the designation."**



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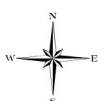


Planning & Development  
Department

Jurisdiction:  
GREENSBORO

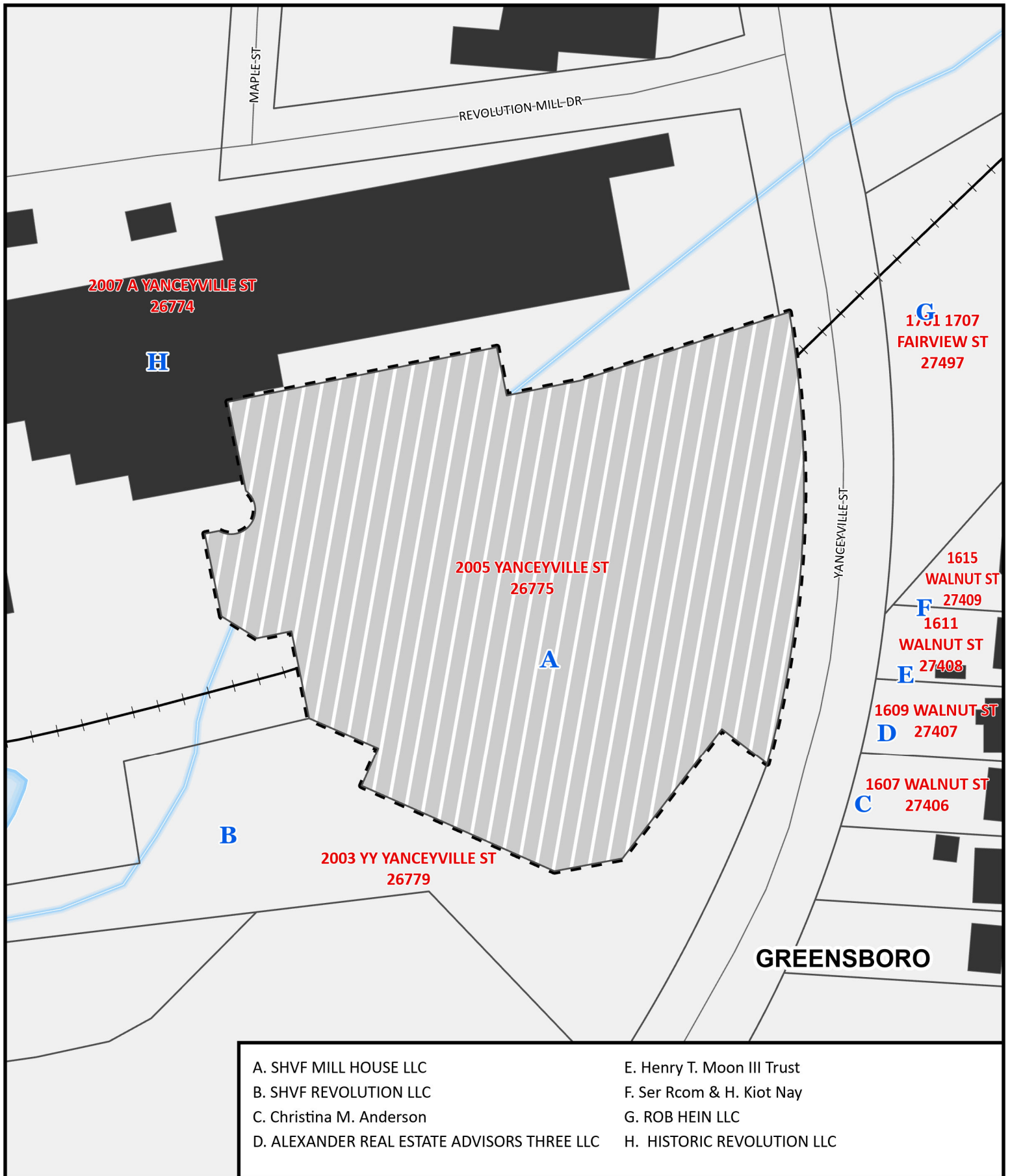
Case Number:  
25-10-HPC-00007

Case Area:  
Parcel(s) - 26775  
2005 Yanceyville St



Scale: 1" = 100'





Planning & Development  
Department

**Jurisdiction:**

GREENSBORO

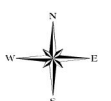
**Case Number:**

25-10-HPC-00007

**Case Area:**

Parcel(s) - 26775

2005 Yanceyville St



Scale: 1" = 100'

## Avery Tew

---

**From:** Brantley, Kristi <kristi.brantley@dncr.nc.gov>  
**Sent:** Thursday, November 20, 2025 3:57 PM  
**To:** Avery Tew  
**Cc:** Sturm, Brett  
**Subject:** Mill House at Revolution Mill HPO reviews  
**Attachments:** GF9683\_HPO Comments\_Mill House\_2025.pdf  
  
**Categories:** Historic Preservation

**\*WARNING\* This email originated outside Guilford County's email system.**

**\*WARNING\***

**Do not click or open unrecognized links and attachments. When in doubt, click on the Phish Alert Report**

Good afternoon, Avery,

Attached is a copy of a letter written in response to the proposed designation of **Mill House at Revolution Mill, 2005 Yanceyville St., Greensboro, Guilford County**. Please share a copy with your Commission Chair.

If a decision is made to designate the property, please share a copy of the ordinance with me.

I've copied Restoration Branch Supervisor Brett Sturm as Restoration Specialist Meghan Sullivan is on maternity leave. Should the owners have any technical questions about the property or are interested in the tax credit program, please feel free to share Brett's contact information with them. He can be reached at 919-814-6580 or [brett.sturm@dncr.nc.gov](mailto:brett.sturm@dncr.nc.gov)

National Register Coordinator Jeff Smith reviewed the report and offers the following comments:

*The report is comprehensive in its coverage of the mill complex's history, and rehabilitation.*

Thank you for the opportunity to review this report.

Best,

*Kristi*

**\*Please note:**

As of 7/13/2023, my email address changed to [kristi.brantley@dncr.nc.gov](mailto:kristi.brantley@dncr.nc.gov)

**Kristi Brantley**

CLG/Local Government Coordinator  
NC State Historic Preservation Office  
NC Dept. of Natural and Cultural Resources  
Phone: (919) 814-6576  
[kristi.brantley@dncr.nc.gov](mailto:kristi.brantley@dncr.nc.gov)

109 East Jones Street | 4617 Mail Service Center | Raleigh, NC 27699-4617

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**And don't forget your Ws! Wear. Wait. Wash.**

**WEAR** a face covering.

**WAIT** 6 feet apart from other people.

**WASH** your hands often.

---

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**North Carolina Department of Natural and Cultural Resources  
State Historic Preservation Office**

Ramona M. Bartos, Administrator

Governor Josh Stein  
Secretary Pamela Brewington Cashwell

Office of Archives and History  
Deputy Secretary Darin J. Waters, Ph.D.

November 20, 2025

Avery Tew  
Planner II  
Guilford County  
Guilford County Historic Preservation Commission  
400 West Market St.  
Greensboro, NC 27401

[ctew@guilfordcountync.gov](mailto:ctew@guilfordcountync.gov)

**RE: Proposed designation of the Mill House at Revolution Mill, 2005 Yanceyville St., Greensboro, Guilford County.**

Dear Mr. Tew:

Thank you for the report you submitted on the proposed designation Mill House at Revolution Mill, 2005 Yanceyville St., Greensboro, Guilford County. We have reviewed the information in the report and offer the following comments in accordance with North Carolina General Statute 160D-946.

We commend staff for submitting a thorough and complete report and feel this local designation report will provide the preservation commission and local governing board with sufficient information to determine whether the Mill House at Revolution Mill possesses the requisite special local significance and integrity for local historic landmark designation.

Thank you for the opportunity to comment on the report. Please note, our comments are advisory only and therefore, non-binding. Once the governing board has received a recommendation from the Guilford County Historic Preservation Commission, it should proceed in the same manner as would otherwise be required for an amendment to the zoning ordinance. Once the decision has been made, please notify our office or email me a copy of the ordinance.

Landmark designation means the community recognizes the property is worthy of preservation because of its special significance to the local community. Any substantial changes in design, materials, and appearance to the property would be subject to the design review procedures of the preservation commission. The owner may receive an annual deferral of up to fifty percent of the property taxes for as long as the property is designated and retains significance and integrity. (N.C.G.S. 105-278 *et seq.*).



This letter serves as our comments on the proposed designation of Mill House at Revolution Mill, 2005 Yanceyville St., Greensboro, Guilford County. Please contact me at [Kristi.brantley@dncr.nc.gov](mailto:Kristi.brantley@dncr.nc.gov) (preferred) or 919-814-6576 should you have any questions about our comments.

Sincerely,

A handwritten signature in black ink that reads "Kristi Brantley". The signature is written in a cursive, flowing style with a large initial 'K' and a long, sweeping underline.

Kristi Brantley  
Local Preservation Commissions/CLG Coordinator

CC: Commission Chair

Enclosure

*(Insert Color Paper)*



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**GUILFORD COUNTY  
PLANNING AND DEVELOPMENT**

**Historic Landmark Designation  
Application**

Name of Designated Landmark (Historic and/or Common):

Minneola Manufacturing Mill

Property Address/Location: 106 #13 Railroad Ave, Gibsonville, NC 27249

Tax Parcel Number: 230323

Deed Book and Page Number: 008773-01288

Plat Book and Page Number: 201-33

Acreage to be designated: 1.93

☐ Applicant ☒ Owner

Three Story Tower, LLC

Name (please print legibly)

463 Carolina Circle

Mailing Address

Winston Salem, NC 27104

City, State and Zip Code

336-499-1963

Phone Number

richard@thirdwavehousing.com

E-mail Address

Signature

8/19/2025

Date

☐ Applicant ☐ Owner

Name (please print legibly)

Mailing Address

City, State and Zip Code

Phone Number

E-mail Address

Signature

Date

The application is due no later than twelve noon (12 noon) on the last Tuesday of the month.

The regularly scheduled meeting held on every third (3<sup>rd</sup>) Tuesday of the month.

Return completed applications to: Guilford County Planning and Development  
Independence Center, 5th floor  
400 W Market Street - Post Office Box 3427 Greensboro, North Carolina 27402  
(336) 641-3334; [kgraybeal@guilfordcountync.gov](mailto:kgraybeal@guilfordcountync.gov)  
[guilfordcountync.gov/Historic-Preservation-Program](http://guilfordcountync.gov/Historic-Preservation-Program)





**GUILFORD COUNTY  
PLANNING AND DEVELOPMENT**

**Historic Landmark Designation  
Application**

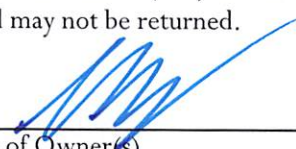
**READ CAREFULLY AND SUPPLY ALL INFORMATION**

The following information must be provided, in digital format, before the application can be reviewed, deemed complete and placed on the next available Historic Preservation Commission agenda:

1. **STATEMENT OF SIGNIFICANCE:** The property must be deemed historically, architecturally or archaeologically significant. Please describe and document the seven aspects of integrity which include the significance of location, design, setting, workmanship, materials, feeling, and association. Include significant dates in the property's history.
2. **MAPS:** Provide a location/vicinity map for the property. Also provide a scaled site plan of the property indicating the proposed landmark boundaries and location of all buildings to be included in the designation.
3. **PHOTOGRAPHS:** Provide a complete photographic record of the property. Include photographic views sufficient to document all significant aspects of the property proposed for designation. All photographs must be labeled and submitted in a digital format.
4. **ARCHITECTURAL DESCRIPTION:** Describe the original and current appearance and style of the significant structures such as houses, barns, well houses, and other buildings to be designated. The description should include the following: date of construction; date(s) of alterations, description of overall form, and exterior details (and interior details if included). Include a drawing of the existing and original (if different) floor plan with rooms labeled.
5. **HISTORICAL BACKGROUND:** Describe the history of the property. The details should include the following: former uses of the property, list of owners (from Grantor-Grantee index), a list of builders and/or architects if known. Also, if available, provide and label further documentation such as newspaper or periodical articles, excerpts from books, cemetery records, register of deeds documents, and oral history documentation.
6. **BIBLIOGRAPHY:** Provide footnotes and a list of information resources.

.....

I (WE), THE UNDERSIGNED, HEREBY CERTIFY THAT THE ABOVE STATEMENTS ARE TRUE AND ACCURATE TO THE BEST OF MY (OUR) KNOWLEDGE AND BELIEF; AND SUPPORT LANDMARK DESIGNATION OF THE PROPERTY DEFINED HEREIN. I (We) acknowledge that the Guilford County Historic Preservation Commission may require additional information. I (We) acknowledge that the designation includes the exterior as well as the interior, and the land, unless otherwise noted in the approved application. I (We) acknowledge that any alterations of the property and/or features designated, require a Certificate of Appropriateness (COA) issued by the Guilford County Historic Preservation Commission or its staff. I (We) acknowledge that all final application materials submitted become the property of Guilford County and may not be returned.

  
\_\_\_\_\_  
Signature of Owner(s)

8/19/25  
\_\_\_\_\_  
Date

\_\_\_\_\_  
Signature of Owner(s)

\_\_\_\_\_  
Date

## Statement of Significance

Minneola Mill is worthy of Guilford County landmark designation for the following reasons:

- Foundational to Gibsonville's Identity:
  - Built in 1886 by Berry Davidson who was a) a prominent millwright who helped found Gibsonville's industrial base after installation of regional railroad infrastructure as well as b) a foundational leader of the town.
  - Served as the economic engine that transformed Gibsonville and eastern Guilford County from rural crossroads into a thriving textile community.
  - The town City of Roses brand was created by Minneola Mill landscaping.
- Architectural Significance:
  - Composed of approximately 440,000 square feet across 18.55 acres, the collection of commercial buildings at Minneola Mill is collectively larger than the rest of Gibsonville's approximate 300,000 square foot central business district. Minneola Mill is still intact and visually dominates Gibsonville's historic core—comprising 59% of the 741,000 square foot commercial downtown. This property establishes the historical setting of this commercial district including the adjacent Guilford County landmark, the Francis Marion Smith house.
  - Features rare and well-preserved examples of fire-resistant textile mill architecture. The Minneola Mill cloth warehouse remains a rare, surviving, free-standing warehouse building and is acknowledged as the largest intact cloth warehouse in the Piedmont region.
  - Recognized in a National Register of Historic Places designations (2018) under Criteria C (distinctive characteristics of a type, period, or method of construction).
- Major Employer and Community Influence:
  - The mill shaped housing, infrastructure, and civic life in Gibsonville under multiple influential property owners. It is tied to the legacy of a) the Davidsons, a foundational family for Gibsonville and also b) the Cone brothers, key figures in the regional and national textile industry who anchored Gibsonville's role in the Piedmont textile corridor, connecting rural Guilford County to national markets. Of regional note is that Gibsonville brought the Cone brothers to the Triad.
  - Site of significant labor movements, including the 1951 textile strike, which reshaped labor and housing in Gibsonville.
  - Recognized in two (2) National Register of Historic Places designations (2018 & 2023) under criteria A (significant contribution to broader events).

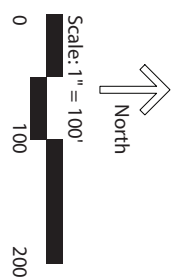


= Historic Facade - for local listing

**Minneola Manufacturing Company Mill Complex**  
106 Railroad Avenue  
Gibsonville, Guilford County, NC

Tax Map with National Register Boundary  
National Register Boundary

1 Lat/Long Coordinates



Lat/Long Coordinates:

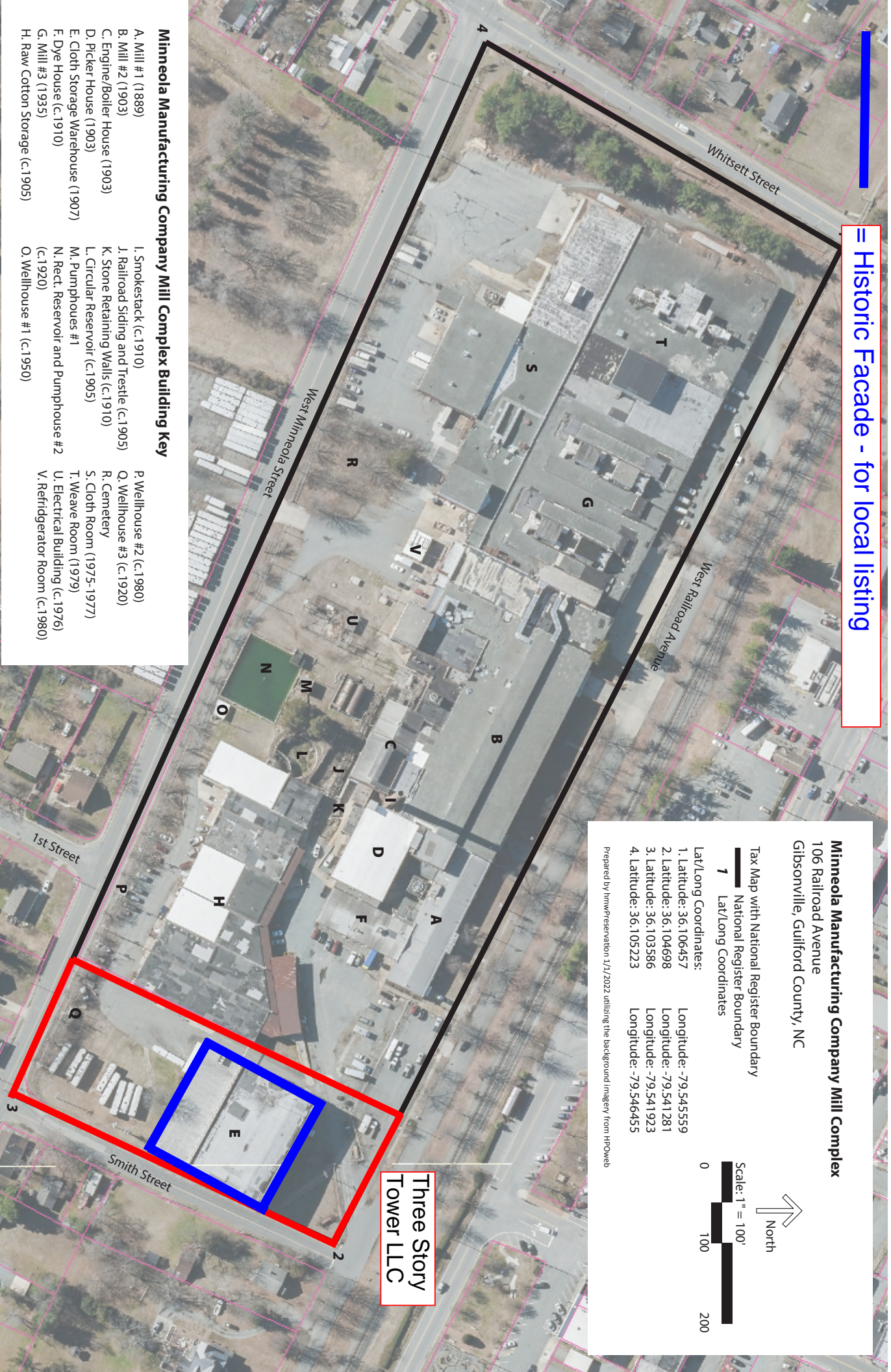
1. Latitude: 36.106457	Longitude: -79.545559
2. Latitude: 36.104698	Longitude: -79.541281
3. Latitude: 36.103586	Longitude: -79.541923
4. Latitude: 36.105223	Longitude: -79.546455

Prepared by hmwPreservation 1/11/2022 utilizing the background imagery from HPOweb

### Minneola Manufacturing Company Mill Complex Building Key

- |                                   |   |                                 |
|-----------------------------------|---|---------------------------------|
| A. Mill #1 (1889)                 | I. Smokestack (c.1910)                  | P. Wellhouse #2 (c.1980)        |
| B. Mill #2 (1903)                 | J. Railroad Siding and Trestle (c.1905) | Q. Wellhouse #3 (c.1920)        |
| C. Engine/Boiler House (1903)     | K. Stone Retaining Walls (c.1910)       | R. Cemetery                     |
| D. Picker House (1903)            | L. Circular Reservoir (c.1905)          | S. Cloth Room (1975-1977)       |
| E. Cloth Storage Warehouse (1907) | M. Pumphouses #1                        | T. Weave Room (1979)            |
| F. Dye House (c.1910)             | N. Rect. Reservoir and Pumphouse #2     | U. Electrical Building (c.1976) |
| G. Mill #3 (1935)                 | (c.1920)                                | V. Refrigerator Room (c.1980)   |
| H. Raw Cotton Storage (c.1905)    | O. Wellhouse #1 (c.1950)                |                                 |

Three Story  
Tower LLC











SPACE  
AVAILABLE  
336-584-4566

















DO NOT  
BLOCK  
DRIVE

1

REPAIRS  
TO BE  
MADE  
TO  
THE  
BUILDING  
AND  
TO  
THE  
FIRE  
ESCAPE



Three Story Tower Front View





Three Story Tower Rear View



## **Architectural Description**

We are requesting designation of exterior walls only. This designation does not include surrounding land and lot areas or anything interior. This property is being redeveloped into historic apartments based on the approved part 2 with the National Park Service, which we can provide if you need more details. Surrounding land and lot areas will be turned into parking areas. This historic façade would be improved with historically correct windows as well as the removal of more modern elements which includes the bathroom tower. The improvements will include parking lots, amenities and other life safety improvements. This is represented by the blue lines in the attached map.



## Historical Background

The Minneola Manufacturing Company Mill complex in Gibsonville, North Carolina, is a cornerstone of Guilford County's industrial, architectural, and cultural history. Originating in the late 19th century, this site is not only a physical symbol of Gibsonville's transformation from a rural railroad stop into a flourishing mill town, but also a testament to the individuals—such as the Davidson the Cone families—who shaped the region's economic and civic life. With its deeply rooted connections to Guilford County's early religious settlements, the rise of the textile industry, and the labor struggles of the 20th century, this site embodies the layered story of a community built through collaboration, innovation, and resilience. All in all, the histories of Minneola Mill and the town of Gibsonville are intertwined, with growth and development of the town a direct result from the success of the mill. Minneola Mill, along with related structures and sites, merits designation as a Guilford County Historic Landmark because of its significance in regional development, its historically designed architectural heritage, and the lived experience of generations of workers and families whose lives were defined by the mill's presence.

*Early Context:* In the early to mid-1700's, the first European settlers of Guilford County were Germans, Ulster Scots (Scotch-Irish), and English. These families came largely from Pennsylvania down the Great Philadelphia Wagon Road into the northern Piedmont of North Carolina. Guilford County “was settled on the east by German Lutherans and German Reformed (who were Calvinists), on the west and south by English Quakers, and in the center by Ulster Scot Presbyterians. It was a mixture in which the melting pot would not melt, in some cases, for several generations and in which the rural areas cling to rather decided racial and religious loyalties.... Though deeply pious, the Germans were divided between the followers of Martin Luther and the followers of John Calvin. Despite this schism, in the earliest days these Lutherans and German Reformed usually worshipped together – perhaps first in private homes. Later they worshipped in union churches, which also served as schoolhouses... The first German churches, originally constructed of logs, were union churches, built by the united efforts of the Lutherans and the German Reformed” (The History of Guilford County, 1971). Gibsonville and its surrounding areas host the oldest church congregations in Guilford County including Frieden's Church and cemetery as well as Guilford County landmark Brick Church (#27).<sup>1</sup>

Through this rural area and with the aid of the railroad infrastructure, the town of Gibsonville was created. In 1848, the NC Legislature passed a railroad bill calling for an east-west railroad to connect the coastal plain with the piedmont. The purpose of this new infrastructure was to open western portions of the state for economic and industrial development. In 1849, the North Carolina Railroad Company chartered a course for this new railroad between Charlotte and Goldsboro<sup>2</sup>. In 1851 the roadbed was started for the railroad to build tracks through Gibsonville and the area. This work was completed by enslaved people

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<sup>1</sup> History of Guilford County, NC, [The History of Guilford County, NC, USA to 1980, A.D.](#) by Blackwell P. Robinson of UNC=-G (to 1890) and Alexander R. Stoesen of Guilford College (from 1890) edited by Sydney M. Cone Jr. Project of The Guilford County Bicentennial Commission, 1971, John Harden, Chairman  
<https://freepages.rootsweb.com/~robbhaas/genealogy/Media/Documents/Doc0866-quakers-guilford-history.pdf>

<sup>2</sup> NC Railroad Historical Timeline. [NCRH History - North Carolina Railroad Company](#)

and organized by Guilford County local and first-generation American Joseph Gibson. In January 1852, railroad construction began simultaneously at both ends of this new rail line. In 1854 a train depot in downtown Gibsonville was constructed; this is no longer in existence and was demolished in 1970. On October 9, 1855, the first train entered the new Gibson Station. Businesses grew up slowly around the station in the 1850s and 1860s to both provide a) goods and services to local farmers as well as b) a means of transportation for the outside sale of local product<sup>3</sup>. On Feb 18, 1871, the Town of Gibsonville was named in honor of Joseph Gibson (1785 – 1857). Prior to his death, Joseph had requested the community formally bear his name since he himself had no sons to carry on his legacy. The Gibson family is honored in both the town's name and the fact that the Andrew & Joseph Gibson home is a Guilford County landmark asset (#22). – As an aside, while Andrew Gibson was a Revolution War soldier and fought at the Battle of Guilford Court House, he was a Scottish immigrant and not part of the areas German migration. --

**A Mill and Town Built by the Davidson Family:** Berry Davidson was born in 1831 in Randolph County. At the age of fourteen, he began his apprenticeship under millwright Solomon Dixon. This apprenticeship lasted for two years and was terminated when his father died. In order to support his family after his father's death, Berry went out on his own and traveled to wherever he could find work. During his lifetime, he built forty mills, at least two houses, and four churches. Most of these buildings were in Alamance and Guilford County but he also completed buildings in Chatham, Cumberland, Davidson, Moore, Orange, Randolph, and Wake Counties. In the late 1880's, Mr. Davidson joined the Gibsonville community.<sup>4</sup> In Gibsonville, Mr. Berry Davidson built 1) Minneola Mill in 1886, 2) Hiawatha Mill in 1893 at 138 Eugene Street, 3) his church at 302 Church Street in 1887 and 4) 3) his home in 1891 at 305 Church Street).<sup>5</sup> “When he installed electricity from the Hiawatha Mill to his [adjacent] home, people would come from miles around to see the light bulb on the front porch,” per the Walking Gibsonville tour.

Berry's nephew J. A. Davidson aided in these efforts. While Berry Davidson was president of Minneola Mill, J. A. Davidson was secretary and treasurer. Per the *Greensboro Patriot* reporting on *Gibsonville, Eastern Guilford's Busiest Town* on May 3, 1889, “Mr. J. A. Davidson, the leading spirit in this establishment, is one of Guilford county's best known and most respected citizens.... Aside from his interest in the Minneola Manufacturing Company, he is president of the Burlington Banking Company, at Burlington NC, secretary and treasurer of the Gibsonville Store Company, mayor of Gibsonville, and a most progressive businessman.”<sup>6</sup> The Davidson family led the transformation of Gibsonville from a small crossroads community to a thriving textile center.

Besides being a leader in business, Berry Davidson was active family man, local church leader, as well as a civil servant. Personally, Berry Davidson married Mary Fletcher, who birthed him six children before she passed. After her death, Berry married Emily Holt Newlin and had three more children. Per the

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<sup>3</sup> Minneola Manufacturing Company National Registry Listing

<sup>4</sup> NC Architects & Builders\_Davidson, Berry <https://ncarchitects.lib.ncsu.edu/people/P000457>; A prominent Millwright's 1880 Home in Gibsonville

<sup>5</sup> The Gibsonville Museum & Historical Society Newsletter Summer 2017 <https://gmhsi.org/wp-content/uploads/2014/12/V8.N1-GMHsi-Newsletter-Summer-2017.pdf>

<sup>6</sup> The Greensboro Patriot <https://gmhsi.org/wp-content/uploads/2021/07/Update-on-Gibsonville-in-The-Greensboro-Patriot-May-3-1889.pdf>



*Greensboro Patriot* on November 10, 1921, “Gibsonville’s business life, and moral status, may, perhaps, be said to begin with the decision of Berry Davidson and H. W. Steele to locate there. Berry Davidson sold his mill at Altamahaw and chose Gibsonville for his new location. He built the first section of the Minneola mills, and together with J. A. Davison gave the business a fine start.... Both “Uncle Berry” and H. W. Steele were men of high moral type, and they, with others, began a struggle to “clean up” the town, drive out strong drink, and uplift the public morals. This warfare was never allowed to stop, until other strong characters joined in, and the victory was finally won for law, morals, and good order... When finally, the Davidson mill interests were sold to the present owners, Berry Davidson continued to show his faith in the town and to invest his money in other constructive enterprises that did much to develop the place and make it a manufacturing town of importance.”<sup>7</sup> Berry Davidson was a Gibsonville Magistrate in 1905 and Mayor from 1907 – 1913. “According to information handed down from one generation to another, the embryo town apparently was a very rough place. There were three very popular saloons, all located in wooden buildings. It has been said that groups visiting saloons engaged in big fights and that it was not safe to be on the streets after dark, especially on Saturday nights”<sup>8</sup>. Mayor Davidson and Steele taxed saloons out of town limits and created a more family friendly town. Berry Davidson died in Gibsonville only two months short of his eighty-fifth birthday in 1915.

It is notable that the Davidson family continued to contribute to the Gibsonville community for generations to follow. For example, in 1913, Berry lost the mayorship to one of his sons, D.M. Davidson. D. M. ultimately became one of the longest serving Mayors in Gibsonville's history (1913 – 1933).<sup>9</sup> All in all, the Davidson family included three Mayors for Gibsonville, the most of any individual family in town history. In 1947, the Davidson family started Engineered Plastics. This is still an active business in Gibsonville at Burlington Avenue and Apple Street northeast of downtown. For his many contributions, the Gibsonville Museum & Historical Society honored Berry Davidson on February 18<sup>th</sup>, 2017 (the town's 146<sup>th</sup> birthday). A plaque was erected on Little Avenue near where Berry built his Gibsonville home, two mills, and church<sup>10</sup>. In 2021, Minneola Mill was purchased for potential historic rehabilitation. In December 2024, the town of Gibsonville purchased Hiawatha Mill for potential historic preservation.

**A Rise under Cone Mills Ownership:** Minneola Mill was built in 1886 by Berry Davidson and was purchased by Cone Mills in 1892. In 1893 Berry Davison built Hiawatha Mill, the town’s second largest employer after Minneola Mills. From 1892 to 1988, the Minneola Mill property was a Cone Mills operation. Cone Mills increased textile production, connected Gibsonville to a significantly larger audience, and growth transformed Gibsonville from an agricultural railroad shipping point into a fully-fledged industrial community. At its peak in 1949, the company employed 750 workers, more than one-third the population of Gibsonville.<sup>11</sup> “During the 1950s the Cone Mills Corporation was the world's

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<sup>7</sup> The Greensboro Patriot 11/10/21 <https://gmhsi.org/wp-content/uploads/2021/07/Update-on-Gibsonvilles- Creation-in-The-Greensboro-Patriot-1921.pdf>

<sup>8</sup> Gibsonville, NC\_prozenoi <https://prozenoi.wordpress.com/gibsonville-nc/>

<sup>9</sup> The Gibsonville Museum & Historical Society Newsletter Summer 2019 <https://gmhsi.org/wp-content/uploads/2019/09/V9.-N2.-Newsletter-Sept-2019.pdf>

<sup>10</sup> The Gibsonville Museum & Historical Society Newsletter Summer 2017 <https://gmhsi.org/wp-content/uploads/2014/12/V8.N1-GMHHSI-Newsletter-Summer-2017.pdf>

<sup>11</sup> Minneola Manufacturing Company National Registry Listing

largest manufacturer of denims and cotton flannels.”<sup>12</sup> For almost 100 years, this operation was Gibsonville's largest employer and shaped nearly every dimension of town life. While the railroad was the reason for the town's existence, the Minneola Cotton Manufacturing Company was responsible for its growth. From its establishment, the mill both dominated the local economy and held a prominent physical position within the community. Details on Minneola Mill's growth to 440,000 square feet over a century are available as an exhibit; see Minneola Manufacturing Company National Registry listing property map.

Gibsonville was a steppingstone to Greensboro for the Cone brothers. “In 1887, Moses and Ceasar Cone invested \$50,000 in the establishment of C. E. Graham Mill Manufacturing Company of Asheville, N.C., which manufactured plaid fabrics. The name of the mill was changed to Asheville Cotton Mills in 1893, and then to Asheville Fabrics Mill Inc. in 1948. In 1888, the brothers invested in Salisbury Cotton Mills of Salisbury, N.C., and Minneola Manufacturing Company of Gibsonville, N.C., both of which also produced plaid fabrics. In 1891, Moses and Ceasar Cone established the Cone Export & Commission Company as a northern selling agent for southern textiles. Chartered in New Jersey, the company's headquarters was located on Worth Street in New York, N.Y., and Moses Cone served as president. In 1893, the Cones built one of the first finishing plants in the South, Southern Finishing & Warehouse Company, in Greensboro, N.C. In 1895, the Cones built in Greensboro their first denim manufacturing plant, Proximity Cotton Mills, named for its close location to cotton fields, warehouses, and rail lines. Nearby they constructed a building that was to serve as headquarters for Proximity Cotton Mills and other cooperative plants controlled by the Proximity Manufacturing Company. Ceasar Cone served as president. In 1899, the Cones partnered with Emanuel and Herman Sternberger of South Carolina to build Revolution Mills, a flannel production plant, in Greensboro. In 1905, the Cones built White Oak Mill, another denim plant in Greensboro under Proximity Manufacturing Company. In 1912, the Cones opened Proximity Print Works, one of the earliest cloth printing facilities in the South.”<sup>13</sup> “While the construction of the Minneola Mill, as well as its purchase and operation by the Cone Export and Commission Company, predated the construction of their Greensboro mills, it was ultimately operated as a subsidiary of those mills, with a stock value of only \$40,000 in 1902. Though the Minneola Manufacturing Company held a relatively minor place in the Cone family's textile enterprise, it was the center of Gibsonville's industry and the town benefitted from the Cones' extensive experience.”<sup>14</sup>

Around Minneola Mill, the adjacent rail station, and a common clean water well, a prosperous downtown developed. The oldest known map of Gibsonville, dating to 1894, shows a town of one square mile divided by an east-west railroad line, with the depot located squarely in the center of town. “In 1894, Dr. Jordan built the first two-story brick building downtown on the corner of Main Street and Lewis Street, where Wade's Jewelry is situated now.”<sup>15</sup> Within this downtown area and adjacent Minneola Mill is Guilford County landmark, the Francis Marion Smith house (#1) built in 1898. Early power for town

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<sup>12</sup> A Brief Survey of the Textile Mill Companies in Greensboro, 1890-1946 <https://pages.digitalgreensboro.org/wp-content/uploads/2025/05/A-brief-survey-of-textile-mill-companies-in-Greensboro.pdf>

<sup>13</sup> UNC Collection's Cone Mills Corporation Records (1858 – 1997)

<sup>14</sup> Minneola Manufacturing Company National Registry Listing

<sup>15</sup> Gibsonville, North Carolina Minneola [https://en.wikipedia.org/wiki/Gibsonville%2C\\_North\\_Carolina](https://en.wikipedia.org/wiki/Gibsonville%2C_North_Carolina)



services is rumored to have come from a Summers mill hydroelectric operation northwest of downtown. While this is unconfirmed, Summers mill did have hydroelectric systems adjacent to the Guilford County landmark Ludwick Summers house (#88)<sup>16</sup>. By 1899, a Greensboro newspaper reported Gibsonville boasted seven general stores, a drug store, a hotel, a livery barn, and some minor enterprises. “A November 1901 newspaper story on the town described it as a “Busy, Happy Town” with “all the advantages of churches, schools, etc., of much larger towns and is altogether one of the happiest, most restful little villages on the globe.” It notes a population of 600-700 people, most of whom were employed by one of the two cotton factories [Minneola Mill & the Davidson’s Hiwatha Mill] ... A 1915 article about Gibsonville in the magazine *Modern Progress* describes the town as a “prosperous town of 1,500 happy people,” and identifies “two cotton mills and one knitting mill, which ensures profitable employment to the industrious person who may come here to live.” The knitting mill indicated is the Gibsonville Hosiery Mill, constructed about 1914, and located about 0.4 miles northeast of the Minneola Manufacturing Company.”<sup>17</sup> The early 1920s were a boom time for Gibsonville when Main Street was paved, water and sewer lines installed, and streetlights erected. The wooden buildings were replaced with brick structures standing today.” Town growth created the need for formal town services. For example, Gibsonville’s fire department dates from 1923, which makes it the third oldest fire department in the county. As the mill grew, the town of Gibsonville did also.<sup>18</sup>

**The City of Roses:** The town earned the nickname “City of Roses” beginning around 1920, based on the profusion of rose bushes planted along the railroad near the Minneola Mill. Visible to passing trains, Gibsonville’s Minneola Mill created a floral brand identity for the town.<sup>19</sup> This point of pride continued until the roses were removed due to the murder of local Laura Elizabeth Riley. This Minneola Mill female employee was assassinated on May 8, 1944. Per the December 1944 case the State verse William Dunhehen, “Defendant and the deceased had been "keeping company" for about eighteen months... all of the State's evidence tended to show that the accused lay in wait for the deceased, concealed behind a hedge along a street frequented by her and shot her with a gun twice as she went along with a companion, there being no evidence of a quarrel or ill feeling.”<sup>20</sup> Dunhehen, eighteen at the time, was given a medical discharge from the army in 1944 and soon thereafter shot and killed his girlfriend<sup>21</sup>. After this mill landscaping proved unsafe, this feature was removed. This did not stop the town from keeping this floral branding. A ”1949 newspaper article denotes that Gibsonville was known as the “City of Roses” for the large number of rose bushes planted around the Minneola Manufacturing Company”<sup>22</sup>. In 2007 and 2008, Gibsonville reinstalled roses in downtown to honor early town history.

**Labor Efforts Reshape Cone Mill’s Relationship with Gibsonville:** While Cone Mills aided in the creation of the town, it also tested its character. Per the Minneola Manufacturing Company national

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<sup>16</sup> Summers Mill, A Historical Overview printed Oct 5, 2010

<sup>17</sup> Minneola Manufacturing Company National Registry Listing

<sup>18</sup> Gibsonville, North Carolina Minneola [https://en.wikipedia.org/wiki/Gibsonville%2C\\_North\\_Carolina](https://en.wikipedia.org/wiki/Gibsonville%2C_North_Carolina)

<sup>19</sup> About Gibsonville-Town of Gibsonville <https://www.gibsonvillenc.org/about#gsc.tab=0>

<sup>20</sup> State V. William Joseph Dunhehen <https://www.casemine.com/judgement/us/5914a224add7b04934693dfa>

<sup>21</sup> 17 May 1945: Paul Green to Governor R. Gregg Cherry <https://exhibits.lib.unc.edu/exhibits/show/capital-punishment/item/3248>

<sup>22</sup> Minneola Manufacturing Company National Registry Listing

register documentation, "On April 1, 1951, the Textile Workers Organizing Committee (TWOC) launched a strike that moved through Southern textile mills. The union and striking workers were calling for a twelve percent base pay raise, and a minimum pay rate of \$1.14 per hour plus cost-of-living allowances, sickness, and accident insurance, and severance pay. Despite the fact that Cone Mills, the sixth largest textile "chain" in the South, had "openly expressed their approval of collective bargaining and acceptance of the union," and that union membership in their mills was quite low, workers went on strike at Minneola Mill, as well as at the Granite and Tabardrey mills in Haw River. While the Minneola plant was not unionized, employees sympathetic to the union and its goals participated in the strike. Only about twenty percent of the Minneola plant's machinery was in operation in the early days of the strike, and by April 5, only about 150 employees of the mill's 600-person workforce were reporting to work, necessitating the company to combine workers into a single shift with the plant running at about fifty-percent capacity.

Negotiations between TWOC and Cone Mills were not very productive. Cone Mills was known as a pattern-setter for the textile industry in the South, one of a number of companies that put wage increases and benefits in place throughout their mills, regardless of whether they were unionized, in an effort to forestall unionization. With a reputation for working with the unions, Clarence Cone and other industry leaders claimed in 1951 that the union was "victimizing them with the program, especially in light of the union's continued failure to organize," and that raising wages by twelve percent, if other non-unionized mills did not follow suit, would put them at a disadvantage in the highly competitive textiles market. Instead, Cone offered a two percent raise, noting that combined with an eight percent raise that previously went into effect in the fall of 1950, they would reach the "maximum permitted under current Federal wage regulations," the two percent number having been accepted in April 1951 by most non-union mills. Meanwhile, strikes and picket lines continued at the Minneola plant, and in early May four men were charged with assaulting non-striking workers while five others were issued "peace warrants" after a non-striking worker reported that his life had been threatened. By the end of May 1951, Cone had offered a six percent raise to all its workers, noting however, that only the first two percent could be implemented without approval by the Federal Wage Stabilization Board. While the offer was rejected by workers at the Minneola Plant, Cone indicated the company would move forward with the increase at all its non-unionized mills.

The final effect of the strike does not appear to have been reported in local newspapers, perhaps because its impact appears to have been more significant on the union than on the textile workers. Leaders in the textile industry, including Clarence Cone, who had long worked with the unions, continued to set wage standards industry wide, but without collaboration with the unions. By the fall of 1952, workers at the Minneola plant held a vote on representation by the Textile Workers Union of America (a derivative of the TWOC), which had led the failed strike, by the United Textile Workers of America, or by no union. The results included only sixteen votes cast for Textile Workers Union of America, 273 votes for the United Textile Workers of America, who won the right to represent the mill in future negotiations, and 202 workers voted for no representation at all....



Shortly thereafter, the portion of the mill village located south of the mill was dismantled. Mill villages, like that at Minneola, had long been provided by mill owners as an important means of retaining a stable workforce while offering a degree of control over their workforce, who were reliant on their position in the mill for their housing. The villages were especially important for rural mills where other housing was not necessarily available and when the unpredictability of waterpower sometimes necessitated an irregular work schedule. In larger cities and towns such as Gibsonville, mill villages were constructed to house the rapid influx of laborers needed to operate newly built or expanding mills.

In the early twentieth century, workers in Cone's mill villages could rely on housing for \$4 to \$6 per month, free seed and bulbs, hams and turkeys, recreational programs, visiting nurses, and a welfare program. However, in the post-World War II era, with higher wages and affordable home loans, workers were increasingly interested in home ownership. This, combined with the shifting relationship between mill owners and workers, partially due to the 1951 strikes, led many urban mill owners to dispose of their company-owned villages in the 1950s and 1960s.

The Minneola Manufacturing Company had mill housing in three locations. Seven mill houses immediately adjacent to the southeast part of the mill, within the National Register boundary, were removed before 1924. South of the mill, extending south from Minneola Street, mill housing and the entire street grid composed of 2<sup>nd</sup>, 3<sup>rd</sup>, 4<sup>th</sup> and 5<sup>th</sup> Streets, were removed between 1955 and 1967. The only extant housing is southwest of and discontinuous with the mill, along Whitsett Avenue and South Joyner Street.”

This 1951 strike changed Cone Mills' relationship with Gibsonville. Picketing workers blocked scabs from entering the building and local operations were controversial. In response, blocks of residential homes were sold when Cone Mills removed 2<sup>nd</sup> – 5<sup>th</sup> Street mill related housing by selling houses at \$20 per room. The one condition of sale was that a purchaser would have to move these homes off Cone Mills property. This forced employees to find homes outside of city limits further moving people out of the town. As a result and per US census numbers, Gibsonville's population decreased from 1,866 persons (1950) to 1,784 persons (1960). In 1960, Gibsonville only had 179+ persons more than the town had in 1930, thirty years earlier. Today these homes would have been located adjacent to the mill on the vacant land across Minneola Street at Guilford County parcel 102533. This vacant lot still has curb cuts and tree lined streets... but no houses or life otherwise. The life Cone Mills helped create, they also wiped out.

All in all for Minneola Mill, “the Period of Significance begins in 1889 with construction of the earliest extant resources and extends to 1973 to include the majority of building periods associated with the historic mill and its most productive era in the post-World War II years. While the mill experienced significant additions and modernization in the late 1970s and remained in operation through 1988, its later years of operation lack the exceptional significance necessary to extend the period of significance to within the last fifty years.”<sup>2324</sup>

**Historic Recognition & Rehabilitation:** In 1988, Cone Mills went bankrupt. This property was sold to the Lindley family in 1990. They installed their own textile operation, made this approximately 440,000

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<sup>23</sup> Minneola Manufacturing Company National Registry Listing

<sup>24</sup> Cone Mills Corporation-Wikipedia; Was Gibsonville the Stepping Stone for Cone to Greensboro

square foot facility multi-tenant, and were loving caretakers of this historic asset. In 2015, the Lindley's started working with historic rehabilitation developers Richard Angino, Sean Dowell, and Josh Lipsky.

In September 2018, the Minneola Cloth Warehouse was listed on the National Register of Historic Places as a well-preserved example of cloth-warehouse architecture (built 1907 with expansions in 1935 and 1953). The cloth warehouse remains a rare surviving, free-standing warehouse building, noted for its fire-resistant mill architecture and essential function in the production pipeline.<sup>25</sup> Gibsonville's Cloth Warehouse is iconic in preserving early textile architecture and is acknowledged as the largest intact cloth warehouse in the Piedmont region. For this reason, Minneola Mill's first national register approval commemorates national register criteria A (significant contribution to broader events) and also criteria C (distinctive characteristics of a type, or method of construction). Historic developer Wellsley Robinson joined this historic rehabilitation team and became a partner in the purchase of the Cloth Warehouse asset in 2019.

By late 2023, the rest of this asset received a second National Register nomination commemorating other historical elements of this larger complex. More broadly, the Minneola Manufacturing Company Mill complex—including multiple industrial and support buildings across an 18.55-acre tract—was further listed on the National Register. The nomination highlights its significance under criterion A (significant contribution to broader events), noting that the mill was "the largest of three textile mills in Gibsonville and the town's largest employer for much of the 20th century."<sup>26</sup> The period of significance for this second national register approval spans from 1889 to 1973, continuing through 1988 when the Cone Mills operation closed at this facility. With two separate National Register designations, Minneola Mill has been formally recognized for its enduring architectural and industrial historic value to both the town and the wider Piedmont region.

Composed of approximately 440,000 SF, this property today encompasses over 18+ acres and multiple city blocks. This does not include the adjacent twenty vacant acres which was the location of prior mill housing moved in the 1950s. Minneola Mill is the largest building complex in Gibsonville's central business district. This downtown area totals 741,000 SF making Minneola Mill 59% of this commercial business district. While downtown Gibsonville has a study list designation with the State Historic Preservation Office, Minneola Mill (2018, 2023), Gibsonville School (2014), and related Guilford County landmarked properties are the formally designated assets that historically anchor this commercial business district. The Minneola Mill property does not today house a primary employer, yet its presence still stands like a titan over Gibsonville's downtown and history.

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<sup>25</sup> National Register of Historic Places <https://www.hpo.nc.gov/nr-nominations/gf8956/open>

<sup>26</sup> Minneola Manufacturing Company National Registry Listing



In summary, Minneola Mill is worthy of Guilford County landmark designation for the following reasons:

- Foundational to Gibsonville's Identity:
  - Built in 1886 by Berry Davidson who was a) a prominent millwright who helped found Gibsonville's industrial base after installation of regional railroad infrastructure as well as b) a foundational leader of the town.
  - Served as the economic engine that transformed Gibsonville and eastern Guilford County from rural crossroads into a thriving textile community.
  - The town City of Roses brand was created by Minneola Mill landscaping.
- Architectural Significance:
  - Composed of approximately 440,000 square feet across 18.55 acres, the collection of commercial buildings at Minneola Mill is collectively larger than the rest of Gibsonville's approximate 300,000 square foot central business district. Minneola Mill is still intact and visually dominates Gibsonville's historic core—comprising 59% of the 741,000 square foot commercial downtown. This property establishes this historical setting of this commercial district including the adjacent Guilford County landmark the Francis Marion Smith house.
  - Features rare and well-preserved examples of fire-resistant textile mill architecture. The Minneola Mill cloth warehouse remains a rare, surviving, free-standing warehouse building and is acknowledged as the largest intact cloth warehouse in the Piedmont region.
  - Recognized in a National Register of Historic Places designations (2018) under Criteria C (distinctive characteristics of a type, period, or method of construction).
- Major Employer and Community Influence:
  - The mill shaped housing, infrastructure, and civic life in Gibsonville under multiple influential property owners. It is tied to the legacy of a) the Davidsons, a foundational family for Gibsonville and also b) the Cone brothers, key figures in the regional and national textile industry whom anchored Gibsonville's role in the Piedmont textile corridor, connecting rural Guilford County to national markets. Of regional note is that Gibsonville brought the Cone brothers to the Triad.
  - Site of significant labor movements, including the 1951 textile strike, which reshaped labor and housing in Gibsonville.
  - Recognized in two (2) National Register of Historic Places designations (2018 & 2023) under criteria a (significant contribution to broader events).

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- 14: Minneola Manufacturing Company National Registry Listing
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22: Minneola Manufacturing Company National Registry Listing

23: Minneola Manufacturing Company National Registry Listing

24: Cone Mills Corporation-Wikipedia; Was Gibsonville the Stepping Stone for Cone to Greensboro

25: National Register of Historic Places <https://www.hpo.nc.gov/nr-nominations/gf8956/open>

26: Minneola Manufacturing Company National Registry Listing



## **GUILFORD COUNTY PLANNING AND DEVELOPMENT**

## **Historic Preservation Commission Staff Report for Local Historic Landmark Designation**

### **Property Information**

**Name:** Minneola Manufacturing Mill

**Address:** 106 #13 Railroad Ave, Gibsonville, NC 27249

**Tax Parcel:** 230323

**Owner(s):** THE THREE STORY TOWER LLC

### **Proposed Designation Boundary**

The proposed designation includes the exterior of the cloth storage warehouse.

### **Required Findings**

Per North Carolina General Statutes § 160D-945, "No property shall be recommended for designation as a historic landmark unless it is deemed and found by the preservation commission to be of special significance in terms of its historical, prehistorical, architectural, or cultural importance and to possess integrity of design, setting, workmanship, materials, feeling, and/or association."

### **Motion Template**

"I move that the Guilford County Historic Preservation Commission recommend **approval/denial** of Landmark Designation Case #25-06-HPC-00006 for the subject property, identified as the Mill House at Revolution Mill, located at 2005 Yanceyville Street, being Guilford County Tax Parcel #26775, comprising approximately 3.48 acres and owned by SHVF MILL HOUSE LLC, based upon:

- (1) Describe whether or not the property is of special significance in terms of its historical, prehistorical, architectural or cultural importance;**
  - a. If the property does have special significance, describe the elements of the property that are integral to its historical, architectural or prehistorical value;**
- (2) Describe whether or not the property possesses integrity of design, setting, workmanship, materials, feeling and/or association;**
- (3) If moving to recommend approval, specify what features are included in the designation."**



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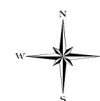


Planning & Development  
Department

Jurisdiction:  
GIBSONVILLE

Case Number:  
25-10-HPC-00009

Case Area:  
Parcel(s) - 230323  
106 Railroad Ave #13



Scale: 1" = 100'





Planning & Development  
Department

**Jurisdiction:**

GIBSONVILLE

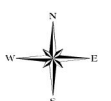
**Case Number:**

25-10-HPC-00009

**Case Area:**

Parcel(s) - 230323

106 Railroad Ave #13



Scale: 1" = 150'

## Avery Tew

---

**From:** Brantley, Kristi <kristi.brantley@dncr.nc.gov>  
**Sent:** Wednesday, November 26, 2025 1:17 PM  
**To:** Avery Tew  
**Cc:** Sturm, Brett; Sullivan, Meghan W; Carleno, Mary Jo  
**Subject:** Minneola Mill -HPO comments  
**Attachments:** GF8956\_HPO Comments\_Minneola Manufacturing\_2025.pdf  
  
**Categories:** Historic Preservation

**\*WARNING\* This email originated outside Guilford County's email system.**

**\*WARNING\***

**Do not click or open unrecognized links and attachments. When in doubt, click on the Phish Alert Report**

Good afternoon, Avery,

Attached is a copy of a letter written in response to the proposed designation **Minneola Manufacturing Mill, 106 #13 Railroad Ave., Gibsonville, Guilford County**. Please share a copy with your Commission Chair.

If a decision is made to designate the property, please share a copy of the ordinance with me.

I've copied Restoration Branch Supervisor Brett Sturm as Restoration Specialist Meghan Sullivan is on maternity leave. Should the owners have any technical questions about the property or are interested in the tax credit program, please feel free to share Brett's contact information with them. He can be reached at 919-814-6580 or [brett.sturm@dncr.nc.gov](mailto:brett.sturm@dncr.nc.gov).

National Register Coordinator Jeff Smith reviewed the report and offers the following comments:

*My remarks require a footnote or sourced in some way and those may be in the National Register nomination.*

*Architectural Significance:*

- *Examples of fire-resistant textile mill architectural should be added. In addition, what historic fabric remains (e.g., original windows, etc.).*

*Major Influence and Community Influence:*

- *What specific forces brought the Cones to Gibsonville? While these may be embedded in the very comprehensive historical narrative, they should be highlighted in the Statement of Significance.*

Thank you for the opportunity to review this report. Please let me know if you have any questions.

Happy Thanksgiving!

Best,

*Kristi*

**\*Please note:**

As of 7/13/2023, my email address changed to [kristi.brantley@dncr.nc.gov](mailto:kristi.brantley@dncr.nc.gov)



**Kristi Brantley**

CLG/Local Government Coordinator  
NC State Historic Preservation Office  
NC Dept. of Natural and Cultural Resources  
Phone: (919) 814-6576  
[kristi.brantley@dncr.nc.gov](mailto:kristi.brantley@dncr.nc.gov)

109 East Jones Street | 4617 Mail Service Center | Raleigh, NC 27699-4617

#StayStrongNC

Learn more @ [nc.gov/covid19](https://nc.gov/covid19)

**And don't forget your Ws! Wear. Wait. Wash.**

**WEAR** a face covering.

**WAIT** 6 feet apart from other people.

**WASH** your hands often.

---

Email correspondence to and from this address may be subject to the North Carolina Public Records Law and may be disclosed to third parties by an authorized state official.



**North Carolina Department of Natural and Cultural Resources  
State Historic Preservation Office**

Ramona M. Bartos, Administrator

Governor Josh Stein  
Secretary Pamela Brewington Cashwell

Office of Archives and History  
Deputy Secretary Darin J. Waters, Ph.D.

November 20, 2025

Avery Tew  
Planner II  
Guilford County  
Guilford County Historic Preservation Commission  
400 West Market St.  
Greensboro, NC 27401

[ctew@guilfordcountync.gov](mailto:ctew@guilfordcountync.gov)

**RE: Proposed designation of the Minneola Manufacturing Mill, 106 #13 Railroad Ave., Gibsonville, Guilford County.**

Dear Mr. Tew:

Thank you for the report you submitted on the proposed designation Minneola Manufacturing Mill, 106 #13 Railroad Ave., Gibsonville, Guilford County. We have reviewed the information in the report and offer the following comments in accordance with North Carolina General Statute 160D-946.

We have made recommendations to staff to include some additional information. Once these additions are included, we feel this local designation report will provide the preservation commission and local governing board with sufficient information to determine whether the Minneola Manufacturing Mill possesses the requisite special local significance and integrity for local historic landmark designation.

Thank you for the opportunity to comment on the report. Please note, our comments are advisory only and therefore, non-binding. Once the governing board has received a recommendation from the Guilford County Historic Preservation Commission, it should proceed in the same manner as would otherwise be required for an amendment to the zoning ordinance. Once the decision has been made, please notify our office or email me a copy of the ordinance.

Landmark designation means the community recognizes the property is worthy of preservation because of its special significance to the local community. Any substantial changes in design, materials, and appearance to the property would be subject to the design review procedures of the preservation commission. The owner may receive an annual deferral of up to fifty percent of the property taxes for as long as the property is designated and retains significance and integrity. (N.C.G.S. 105-278 *et seq.*).



This letter serves as our comments on the proposed designation of Minneola Manufacturing Mill, 106 #13 Railroad Ave., Gibsonville, Guilford County. Please contact me at [Kristi.brantley@dncr.nc.gov](mailto:Kristi.brantley@dncr.nc.gov) (preferred) or 919-814-6576 should you have any questions about our comments.

Sincerely,

A handwritten signature in black ink that reads "Kristi Brantley". The signature is written in a cursive, flowing style with a long, sweeping underline that extends to the right.

Kristi Brantley  
Local Preservation Commissions/CLG Coordinator

CC: Commission Chair

*(Insert Color Paper)*



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**GUILFORD COUNTY  
PLANNING AND DEVELOPMENT**

**Historic Preservation  
Commission Certificate of  
Appropriateness (COA) Application**

*Staff Use Only*

**Date Received:** 11-17-25

**No Fee Required**

**Case Number** 25-10-HPC-00008

**Date Approved/Denied:** \_\_\_\_\_ **Initials:** \_\_\_\_\_

**Provide the required information as indicated below. Pursuant to the Guilford County Development Ordinance, this application will not be processed until the form below is completed and signed and all required maps, plans and documents have been submitted to the satisfaction of the Planning Staff.**

**Name of Property** One Plaza Center (Showplace West)

**Property Location** 101 S. Main Street

**Tax Parcel #** 171404

***Please attach the appropriate information about the subject property (See below). Digital copies of all documents in PDF, JPG, or Word format are required.***

☒ **Exterior Alterations or Repairs:** Describe in detail all work to be done and reason for work. Include the following items where appropriate: sketches, drawings, photographs, specifications and other descriptions of proposed changes to the building façade, roof, new additions, or site improvements. Drawings will be required for major changes and additions to materials or design for such items as roofs, moldings, porches, railings, fences, doors, windows, and hardware.

☒ **Interior Alterations or Repairs:** Describe in detail all work to be done and reason for work. Include the following items:

A) Sketches, drawings, photographs, specifications or other descriptions of proposed changes. Architectural drawings will be required for major changes and additions to materials or design for such items as moldings, doors, windows, and hardware.

B) Paint chips for color changes.

C) Samples of other proposed materials when the original materials will not be retained.

☐ **New Construction:** (includes any new construction on the designated site). Describe the nature of the proposed project in detail and include the following:

A) Site plan with measured distances. Four (4) scaled drawings are required to be submitted with the application for use by staff and the Commissioners. A reduced drawing may be submitted on 8 ½"x 11" paper for inclusion in the application packet.





**GUILFORD COUNTY  
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- B) Elevation drawings of each affected façade and specifications which clearly identify the appearance of the project. Four (4) scaled elevation drawings are required to be submitted with the application for use by staff and the Commissioners. A reduced drawing may be submitted on 8 ½"x 11" paper for inclusion in the application packet.
- C) Photographs of the proposed site including any available historic photos, landscapes and aerials
- D) Detailed materials list, colors and/or samples.
- E) Zoning Confirmation: Provide written and signed confirmation from the jurisdiction's enforcement officer that proposed new construction and site plan complies with applicable zoning district regulations including, but not limited to setbacks, height restrictions, landscaping, fencing, exterior lighting, parking and access, the existence and status of any nonconforming uses or situations, signage, overlay district requirements such as scenic corridors historic districts, and watershed districts.

☐ **Relocation of Structure(s)**: Give reasons for the relocation. Include photographs and aerial(s) of the proposed site, and describe any alterations, etc. that might occur to foundation walls, etc.

- A) Site Plan with measured distances. Four (4) scaled drawings are required to be submitted with the application for use by staff and the Commissioners. A reduced drawing may be submitted on 8 ½"x 11" paper for inclusion in the application packet.
- B) Photographs of the proposed site including any available historic photos, landscapes and aerials.
- C) Details regarding revisions to structure and/or new materials required as a result of the proposed relocation of the structure(s) including colors and samples.
- D) Zoning Confirmation: Provide written and signed confirmation from the jurisdiction's enforcement officer that proposed relocated structure and site plan complies with applicable zoning district regulations including, but not limited to setbacks, height restrictions, landscaping, fencing, exterior lighting, parking and access, the existence and status of any nonconforming uses or situations, signage, overlay district requirements such as scenic corridors, historic districts, and watershed districts.



**GUILFORD COUNTY  
PLANNING AND DEVELOPMENT**

Historic Preservation  
Commission Certificate of  
Appropriateness (COA) Application

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- ☐ **Demolition of Existing Structure(s):** (includes any new construction on the designated site). Describe the structure(s) and give the reason(s) for the demolition request. Include scaled plot plan, photographs and measurements of the structure(s). Include any new construction on the designated site. Describe the nature of the proposed project in detail and include the following: plot plan with measured distances; elevation drawings of each affected façade; and specifications which clearly identify the appearance of the project, photographs of the proposed site, detailed materials list and colors and/or samples.

**ALL Materials submitted with the application become the property of the Guilford County Historic Preservation Commission and will not be returned.**





**GUILFORD COUNTY  
PLANNING AND DEVELOPMENT**

**Historic Preservation  
Commission Certificate of  
Appropriateness (COA) Application**

For COA's requiring a public hearing, the application must be received by 12:00 P.M. on the 3rd Tuesday of the month, one month prior to the public hearing dates. See Guilford County Meeting Schedule for dates.

*I, the undersigned, do hereby respectfully make an application for a Certificate of Appropriateness:*

☐ Applicant ☒ Owner

Rebekah McGee, Forward High Point

Name

515 W. English Road, Suite 101C

Mailing Address

High Point, NC 27262

City, State and Zip Code

336-881-9391

rebekah.mcgee@forwardhighpoint.com

Phone Number Email

Signature

☒ Applicant ☐ Owner

Andrew Hampton

Name

3230 Queens Grant Drive

Mailing Address

Midlothian, VA 23113

City, State and Zip Code

804-338-9789

ahampton@lbdinv.com

Phone Number Email

Signature

*I hereby agree to conform to all applicable laws of Guilford County and the State of North Carolina and certify that the information provided is complete and accurate to the best of my knowledge. I acknowledge that by filing this application, representatives from Guilford County Planning and Development may enter the subject property for the purpose of investigation and analysis of this request.*

**STAFF USE ONLY:**

**MINOR/EXEMPT COA**

☐ Approved by Staff

Commission

Conditions of Approval:

☐ Referred to Historic Preservation

**MAJOR COA**

☐ Approved by Historic Preservation Commission

Commission

Conditions of Approval:

☐ Denied by Historic Preservation



**GUILFORD COUNTY  
PLANNING AND DEVELOPMENT**

Historic Preservation  
Commission Certificate of  
Appropriateness (COA) Application

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***Return completed applications by e-mail to:***

[Contact Planning@guilfordcountync.gov](mailto:Planning@guilfordcountync.gov)

400 W Market Street – Post Office Box 3427  
Greensboro, North Carolina 27402  
(336) 641-3334



One Plaza Center  
101 S. Main Street, High Point  
Tax Parcel #171404  
COA Application October 2025

### **Summary of Proposed Alterations:**

As part of an Historic Rehabilitation Tax Credit project, the applicant proposes a full rehabilitation of the exterior and interior of One Plaza Center to accommodate a new mixed commercial and residential use. Historic finishes and character-defining features will be retained, restored, and/or replaced in-kind where they are damaged beyond repair. Additionally, former tenant office spaces will be sensitively rehabilitated into commercial space and residential apartment units. Where necessary, new finishes will be contemporary yet compatible with the age and mid-twentieth century style of One Plaza Center.

### **Proposed Exterior Alterations/Repairs:**

#### ***Sunken Plaza and Site***

As part of the adaptive reuse of the building, the applicant proposes to utilize the plaza for tenant amenities and outdoor activities. Overall, historic site features will be retained and restored. Items that will be repaired include the concrete stairs, metal handrails, and existing pavers. Non-historic site elements will be removed as needed to accommodate the new use or in effort to add access controls for tenant safety. Where necessary to accommodate new outdoor activities, plaza pavers will be removed and new hard surface installed. Non-historic planters will be also be removed in several locations; upon inspection, no historic concrete planters remained on site. New skylights are proposed along the perimeter of the sunken plaza to allow for natural light into the basement units. Additionally, new 60-inch-tall glass railing fences will be installed at each of the access points of the sunken plaza where the site meets public sidewalk as a safety and security measure. The proposed glass gates will have minimal visual impact due to their relative transparency. Overall, historic site features will be retained and restored. Items that will be repaired include the concrete stairs, metal handrails, and existing pavers. Finally, the existing mechanical enclosure at the east end of the site will be retained and new equipment will be installed.



*Figure 1: Detail showing condition of sunken plaza stairs.*



*Figure 2: Sunken plaza detail with non-historic infill and one site of proposed skylights.*





Figure 3: Detail showing condition of sunken plaza and one of the locations for proposed glass security gates.



Figure 4: Detail showing plaza paver and exterior wall conditions, as well as the non-historic pyramidal addition.

### ***Building Exterior and Roof***

The exterior walls of the building are pre-cast concrete panels with minimal ornamentation. Walls are in fair condition, with delamination and organic growth present in select areas. This condition has worsened since designation of the landmark. The applicant will inspect and repair the exterior walls using guidance provided in Preservation Brief No. 15: Preservation of Historic Concrete. The walls of the non-historic pyramidal addition will be minimally modified at the sunken plaza level in order to increase connectivity to the basement.

The existing roof membrane is in poor condition and requires replacement. All existing roofing will be removed down to the deck, along with associated elements such as conduits, flashing, and drains. The deck will be inspected and repaired as necessary, and a new roof will be installed. The rooftop penthouse will also be inspected and repaired, and the exterior cladding will be replaced in kind due to deteriorated condition of the material. The existing mechanical yards on the roof will be incorporated into the footprint of the penthouse, and will become usable square footage. At the roof of the connection to the adjacent non-historic garage building, skylights will be inserted to provide natural light to the first-floor units.



*Figure 5: Detail showing exterior plaza wall condition.*





*Figure 6: Detail showing exterior wall condition.*



*Figure 7: Detail showing roof condition and penthouse mechanical area proposed to be enclosed.*

## ***Windows and Exterior Doors***

The facade of the building features symmetrically-spaced, slightly recessed, fixed aluminum frame, four-lite windows. The two bottom panes of the windows have been fitted with solid panels, while upper panes retain tinted glass. At the rear of the building, there are similarly spaced, fixed aluminum frame, fourteen-lite windows with wire glass. The four bottom panes have been retrofitted with solid panels. Overall, the historic curtain wall and windows are in fair condition; several are boarded up due to broken glass.

As part of the proposed project, the existing windows on the upper floors will be replaced due to their deteriorated condition which is causing moisture infiltration inside the building. The windows will be replaced in kind and retain the solid bottom panels. Clear glass will be installed on the rear windows. In limited locations, primarily within the rooftop penthouse and behind historic louvers at the sunken plaza, new window openings will be inserted to achieve the proposed residential plan. Contemporary compatible aluminum casement windows and fixed storefront will be inserted in these locations to provide natural light into new apartment units. Where louvers were in place historically, they will be reinstalled. The applicant proposes to retain and repair as needed all existing first floor storefront. Storefront assemblies at the sunken plaza level will be replaced. The overhead door on the east elevation along Wrenn Street will be replaced with a shortened door to accommodate the proposed new mezzanine floor (see below). New doors will be inserted at the penthouse level to provide roof access.



*Figure 8: Detail showing example window boarded over.*





*Figure 9: Detail showing first floor storefront condition.*

## **Interior Alterations and Repairs:**

### ***Interior Plan***

The interior plan of One Plaza Center is largely non-historic due to the built-to-suit nature of the original office tower. The historic elements of the plan are primarily limited to the core of the building including the elevator lobby, four elevators, a stairwell, bathrooms, and utility spaces. Other remaining historic spaces include a secondary stair, a vault, and the mechanical penthouse. In general, remaining plan elements are in fair condition.

As part of the rehabilitation, the historic circulation core (elevator lobby, elevator shafts, and stair) will be retained on all floors. The applicant proposes a standardized plan on the upper floors beyond the historic stair and elevator lobbies, which includes a circulation corridor that

serves residential units on each floor, with access to both stairwells. Utility and service spaces adjacent to the core that are no longer necessary will be incorporated into the unit plans.

On the first floor, the perimeter of the building facing the sunken plaza and adjacent side streets will be maintained as commercial space; these areas will be finished to vanilla shell while the applicant awaits tenant selection. The central space will be finished as the residential leasing office and clubhouse. At the rear of the first floor, in the basement, and on upper floors, including the rooftop penthouse, the applicant will sensitively insert residential units. The applicant proposes to insert a new mezzanine level between the first and second floors within first floor residential units. These units are situated along the rear of the building and will be lofted to take advantage of the double-height first floor. Finishes within the mezzanine levels will be contemporary compatible in order to differentiate these spaces as non-historic insertions. The basement will also contain tenant amenity spaces, including a quiet lounge set within the non-historic addition.

### ***Interior Walls and Ceilings***

The interior walls of the building feature a range of finishes including stone-cladding, drywall, and painted CMU. The wall finishes are in fair to poor condition and exhibit signs of moisture damage and mold in many areas, particularly on the 8<sup>th</sup> floors which has been exposed to prolonged water infiltration. This condition has worsened since the time of the landmark designation. Ceilings also vary from floor to floor. The basement and first floor retain ACT grid in most locations, although the tiles have been removed exposing the structure and systems above. Upper floors retain limited ceilings over the historic elevator lobbies (these are primarily hard ceilings dropped below the structure to align with the top of the elevator doors), while the remainder of the ceilings have been removed, exposing the waffle slab structure above, which has been painted in many locations. Where ceiling finishes remain, they are in poor condition, particularly on the 8th floor where roof leaks have severely damaged remaining finishes.

As a result of this project, the applicant proposes to remove all non-historic ceiling and wall finishes throughout the building. The applicant proposes to remove integrated water fountains and their accompanying plumbing in order to accommodate the new multi-family use. The applicant will retain the mailboxes on each floor that were part of a full-building mail sorting system. The mailboxes may be sealed and the void reused for new building systems as needed. Remaining historic finishes will be retained and repaired as feasible, provided they can be cleaned of mold and mildew; this includes limited remaining historic wood paneling on the 8th floor. This is another condition that has worsened with prolonged vacancy since landmark designation. Historic travertine walls will be gently cleaned. New walls inserted to achieve the proposed plan will be smooth drywall.



The applicant proposes to retain the existing hard ceilings within the first-floor entrance lobby and to reinstate finished ceilings within upper floor elevator lobbies and corridors. In all other locations, the applicant proposes to retain the existing exposed ceilings in most locations within the building. Dropped ceilings will be inserted where necessary to conceal systems and services.



*Figure 10: Image showing typical wall and ceiling condition on the 8th floor.*

### ***Floor Finishes, Interior Doors, and Woodwork***

Many of the historic finishes of the building are no longer extant. Floors within the building are a combination of carpet, tile, VCT, and exposed concrete. The primary public entry lobby features non-historic checkerboard tile; an adjacent corridor features historic terrazzo, which is assumed to remain in place underneath the non-historic tile, but has not been confirmed. The terrazzo finish, which is assumed to be the historic floor finish rather than the existing checkerboard tile, was discovered after completion of the landmark designation. In all other

locations within the building, little historic flooring remains and existing floor finishes are in fair to poor condition. As a result of this project, the applicant proposes to remove non-historic floor finishes throughout the building. Any remaining historic finishes discovered during demolition will be retained and restored. New floor finishes inserted to achieve the proposed plan will be contemporary yet compatible; these will include LVT, carpet, and tile. Where appropriate, historic concrete floors will remain exposed; these will be cleaned and sealed.

Interior doors and woodwork are primarily non-historic and in fair to poor condition. The majority of the remaining interior doors are within the central building core accessing shared utility and bathroom space on each floor; these are full-height wood-veneer slab doors. In limited areas on the 8th floor, historic wood paneling remains. As a result of this project, the majority of the existing interior doors and woodwork will be removed during the demolition of the non-historic walls in the building. Any remaining historic doors and woodwork will be retained and restored. If found to be damaged or deteriorated beyond repair, historic doors and woodwork will be replicated and reinstalled. New interior doors and woodwork inserted to achieve the proposed plan will be contemporary yet compatible; these will be subtly differentiated from the historic slab doors to maintain a consistent aesthetic.



*Figure 11: Image showing terrazzo floor finish in the first-floor corridor adjacent to elevator entrance lobby.*





*Figure 12: Detail of the wall finishes and deteriorated conditions on the 8th floor.*



*Figure 13: Detail of mold growth on walls of 8th floor.*



*Figure 14: Door detail showing mold growth on 8th floor.*

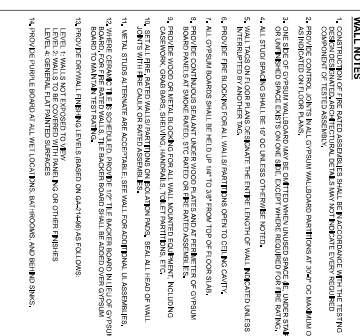
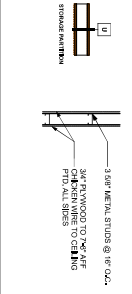
## **Systems**

Systems within the building are largely non-historic, yet outdated. There are five existing elevators in the building; four are located in the primary public lobby, while the fifth is located within the loading dock area. The fifth is a freight elevator that only serves the basement and first floor. As a result of this project, the applicant proposes to remove all existing systems within the building and install new systems to meet the proposed new use and plan. Systems will be sensitively installed in new walls and above new ceilings throughout the building. Existing mechanical spaces will be reused and two elevators will be decommissioned to allow the reuse of the shafts for vertical systems distribution; the elevator doors will be retained and non-historic vinyl wraps will be removed. A single new vertical chase will be inserted to serve the trash chute. The freight elevator will be removed and the shaft will be removed. The remaining two elevators will be upgraded; the cabs will be replaced but the shafts and doors will remain in place.





## WALL TYPES



## WALL NOTES

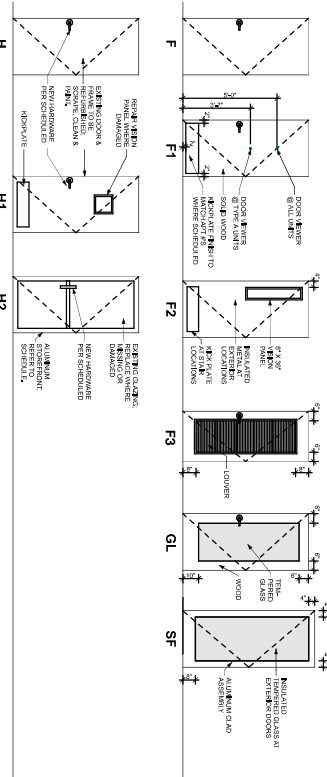
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# DOOR TYPES

## GENERAL NOTES

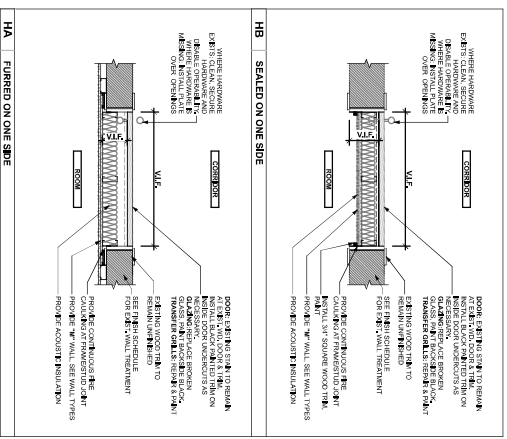
1. SEE DOOR SCHEDULE FOR ALL OPENING SIZES AND HARDWARE.
2. ALL HARDWARE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
3. ALL HARDWARE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
4. ALL HARDWARE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
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9. ALL HARDWARE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
10. ALL HARDWARE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.



## HARDWARE SETS

1. ENTRY (DOOR) HARDWARE	2. ENTRY (DOOR) HARDWARE	3. ENTRY (DOOR) HARDWARE	4. ENTRY (DOOR) HARDWARE	5. ENTRY (DOOR) HARDWARE	6. ENTRY (DOOR) HARDWARE	7. ENTRY (DOOR) HARDWARE	8. ENTRY (DOOR) HARDWARE	9. ENTRY (DOOR) HARDWARE	10. ENTRY (DOOR) HARDWARE	11. ENTRY (DOOR) HARDWARE	12. ENTRY (DOOR) HARDWARE	13. ENTRY (DOOR) HARDWARE	14. ENTRY (DOOR) HARDWARE	15. ENTRY (DOOR) HARDWARE	16. ENTRY (DOOR) HARDWARE	17. ENTRY (DOOR) HARDWARE	18. ENTRY (DOOR) HARDWARE	19. ENTRY (DOOR) HARDWARE	20. ENTRY (DOOR) HARDWARE
ENTRY (DOOR) HARDWARE	ENTRY (DOOR) HARDWARE	ENTRY (DOOR) HARDWARE	ENTRY (DOOR) HARDWARE	ENTRY (DOOR) HARDWARE	ENTRY (DOOR) HARDWARE	ENTRY (DOOR) HARDWARE	ENTRY (DOOR) HARDWARE	ENTRY (DOOR) HARDWARE	ENTRY (DOOR) HARDWARE	ENTRY (DOOR) HARDWARE	ENTRY (DOOR) HARDWARE	ENTRY (DOOR) HARDWARE	ENTRY (DOOR) HARDWARE	ENTRY (DOOR) HARDWARE	ENTRY (DOOR) HARDWARE	ENTRY (DOOR) HARDWARE	ENTRY (DOOR) HARDWARE	ENTRY (DOOR) HARDWARE	ENTRY (DOOR) HARDWARE

## HISTORIC DOOR DETAILS



# DOOR SCHEDULE

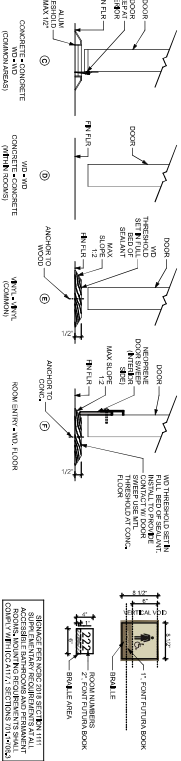
MARK	WIDTH	HEIGHT	MATERIAL	TYPE	MATERIAL	FRAME	HARDWARE SET #	FUNCTION	RATING	LOCATION	NOTES
100	2'-0"	7'-0"	1.35"	HM	H	HM	JBH8	12	-	-	NEW HARDWARE ON EXISTING DOOR
101	(2) 3'-0"	7'-0"	1.35"	AL	H2	AL	-	1	A	-	NEW DOORS WITH EXISTING STOREROOM PART OF STOREROOM ASSEMBLY
102	(2) 3'-0"	7'-0"	1.35"	AL	SF	AL	-	3	A	-	NEW DOORS WITH EXISTING STOREROOM PART OF STOREROOM ASSEMBLY
103	(2) 3'-0"	7'-0"	1.35"	AL	H2	AL	-	3	A	-	NEW DOORS WITH EXISTING STOREROOM PART OF STOREROOM ASSEMBLY
104	(2) 3'-0"	7'-0"	1.35"	AL	H2	AL	-	3	A	-	NEW DOORS WITH EXISTING STOREROOM PART OF STOREROOM ASSEMBLY
105	(2) 3'-0"	7'-0"	1.35"	AL	H2	AL	-	3	A	-	NEW DOORS WITH EXISTING STOREROOM PART OF STOREROOM ASSEMBLY
106	(2) 3'-0"	7'-0"	1.35"	AL	SF	AL	-	-	-	-	NEW DOORS WITH EXISTING STOREROOM PART OF STOREROOM ASSEMBLY
107	3'-0"	7'-0"	1.35"	HM	H	HM	JBH8	14	-	-	NEW DOORS WITH EXISTING STOREROOM PART OF STOREROOM ASSEMBLY

UNITS																					
10	3'-0"	7'-0"	1.34"	AL	SF	AL	JH7H	3	A	45 MIN	UNIT FOUR PLAZA ENTRY	-	-	-	-	-	-	-	-	-	
11	3'-0"	7'-0"	1.34"	WD	F1	AL	JH11	4	C	20 MIN	APARTMENT ENTRY	-	-	-	-	-	-	-	-	-	
11H	3'-0"	9'-0"	1.35"	HM	H	HM	JH11	1	C	20 MIN	APARTMENT ENTRY	-	-	-	-	-	-	-	-	-	
12	2'-0"	6'-6"	1.34"	WD	F	WD	JH8H	11	D	-	BEDROOM	-	-	-	-	-	-	-	-	-	
12G	2'-0"	6'-6"	1.34"	WD	GL	WD	JH8H	11	D	-	BEDROOM	-	-	-	-	-	-	-	-	-	
12S	2'-0"	6'-6"	1.34"	WD	F	F	-	D	D	-	BEDROOM	-	-	-	-	-	-	-	-	-	
13	2'-0"	6'-6"	1.34"	WD	F	WD	JH8H	11	D	-	BATHROOM	-	-	-	-	-	-	-	-	-	
13X	2'-0"	6'-6"	1.34"	WD	F	WD	JH8H	11	D	-	BATHROOM	-	-	-	-	-	-	-	-	-	
14	2'-0"	6'-6"	1.34"	WD	F	WD	JH8H	16	D	-	CLOSET	-	-	-	-	-	-	-	-	-	
15	2'-0"	6'-6"	1.34"	WD	F3	WD	JH8H	16	D	-	LAUNDRY MESH ROOM	-	-	-	-	-	-	-	-	-	
16	2'-0"	6'-6"	1.34"	WD	F	WD	JH8H	16	D	-	CLOSET / PAINTRY ROOM	-	-	-	-	-	-	-	-	-	
17	2'-0"	6'-6"	1.34"	WD	F	WD	JH8H	16	D	-	CLOSET / PAINTRY ROOM	-	-	-	-	-	-	-	-	-	
18	(2) 2'-0"	6'-6"	1.34"	WD	F	WD	JH8H	15	D	-	CLOSET - DOUBLE DOOR	-	-	-	-	-	-	-	-	-	
19	2'-0"	6'-6"	1.34"	WD	F	WD	JH8H	12	D	-	MECH CLOSET ACCESS DOOR	-	-	-	-	-	-	-	-	-	
20	2'-0"	6'-6"	1.34"	WD	F	WD	JH8H	12	D	-	MECH CLOSET ACCESS DOOR	-	-	-	-	-	-	-	-	-	
												NEAR HALLWAY ON EXISTING ROOM - REPLACE DOOR IN EXISTING ROOMS IF BEYOND REPAIR. UNPAINTED DOORING ON 8TH FLOOR TO REMAIN UNPAINTED									
												BARN DOOR ON SURFACE MOUNTED TRACK IF ANY DOOR IS NOT HUNG OPENING IN-DOOR FRAME IS POSSIBLE									

COMMON EXISTING	COMMON EXISTING	COMMON EXISTING	COMMON EXISTING	COMMON EXISTING	COMMON EXISTING	COMMON EXISTING	COMMON EXISTING	COMMON EXISTING	COMMON EXISTING	COMMON EXISTING	COMMON EXISTING	COMMON EXISTING	COMMON EXISTING	COMMON EXISTING	COMMON EXISTING	COMMON EXISTING	COMMON EXISTING	COMMON EXISTING	COMMON EXISTING	COMMON EXISTING
30	3'-0"	7'-0"	1.35"	HM	H	HM	JBH1	14	C	-	STAIR ENTRY	-	-	-	-	-	-	-	-	-
31	3'-0"	7'-0"	1.35"	HM	H1	HM	JBH1	14	C	-	STAIR ENTRY	-	-	-	-	-	-	-	-	-
32	3'-0"	7'-0"	1.35"	HM	H	HM	JBH1	12	B	-	UTILITY / JANITOR CLOSET	-	-	-	-	-	-	-	-	-
33	(2) 3'-0"	7'-0"	1.35"	HM	H	HM	JBH1	13	B	-	UTILITY / JANITOR CLOSET	-	-	-	-	-	-	-	-	-

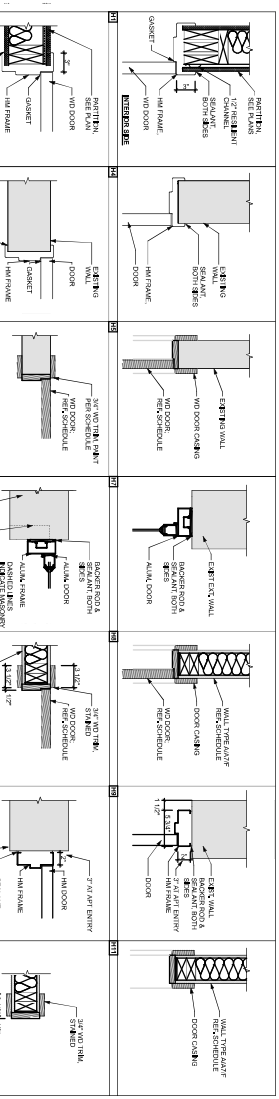
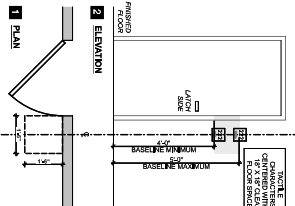
COMMON PROPOSED	COMMON PROPOSED	COMMON PROPOSED	COMMON PROPOSED	COMMON PROPOSED	COMMON PROPOSED	COMMON PROPOSED	COMMON PROPOSED	COMMON PROPOSED	COMMON PROPOSED	COMMON PROPOSED	COMMON PROPOSED	COMMON PROPOSED	COMMON PROPOSED	COMMON PROPOSED	COMMON PROPOSED	COMMON PROPOSED	COMMON PROPOSED	COMMON PROPOSED	COMMON PROPOSED	COMMON PROPOSED
40	3'-0"	7'-0"	1.35"	WD	F2	HM	JBH1	14	C	60 MIN	STAIR ENTRY	-	-	-	-	-	-	-	-	-
41	3'-0"	7'-0"	1.35"	HM	F	HM	JBH1	14	C	60 MIN	STAIR ENTRY	-	-	-	-	-	-	-	-	-
42	3'-0"	7'-0"	1.35"	HM	F2	HM	JBH1	14	C	60 MIN	STAIR ENTRY	-	-	-	-	-	-	-	-	-
43	3'-0"	7'-0"	1.35"	HM	F2	HM	JBH1	14	C	60 MIN	STAIR ENTRY	-	-	-	-	-	-	-	-	-
44	(2) 3'-0"	7'-0"	1.34"	AL	SF	AL	JBH7	5	B	20 MIN	APARTMENT ENTRY	-	-	-	-	-	-	-	-	-
45	3'-0"	7'-0"	1.35"	AL	SF	AL	JBH7	6	C	20 MIN	APARTMENT ENTRY	-	-	-	-	-	-	-	-	-
46	3'-0"	7'-0"	1.35"	AL	SF	AL	JBH7	6	C	20 MIN	APARTMENT ENTRY	-	-	-	-	-	-	-	-	-
50	(2) 3'-0"	7'-0"	1.35"	AL	SF	AL	JBH7	14	A	-	REPAIR DOOR IN EXISTING OPENING	-	-	-	-	-	-	-	-	-
51	(2) 3'-0"	7'-0"	1.35"	HM	F	HM	JBH7	13	A	-	REPAIR DOOR IN EXISTING OPENING	-	-	-	-	-	-	-	-	-

## DOOR THRESHOLDS



## DOOR NOTES

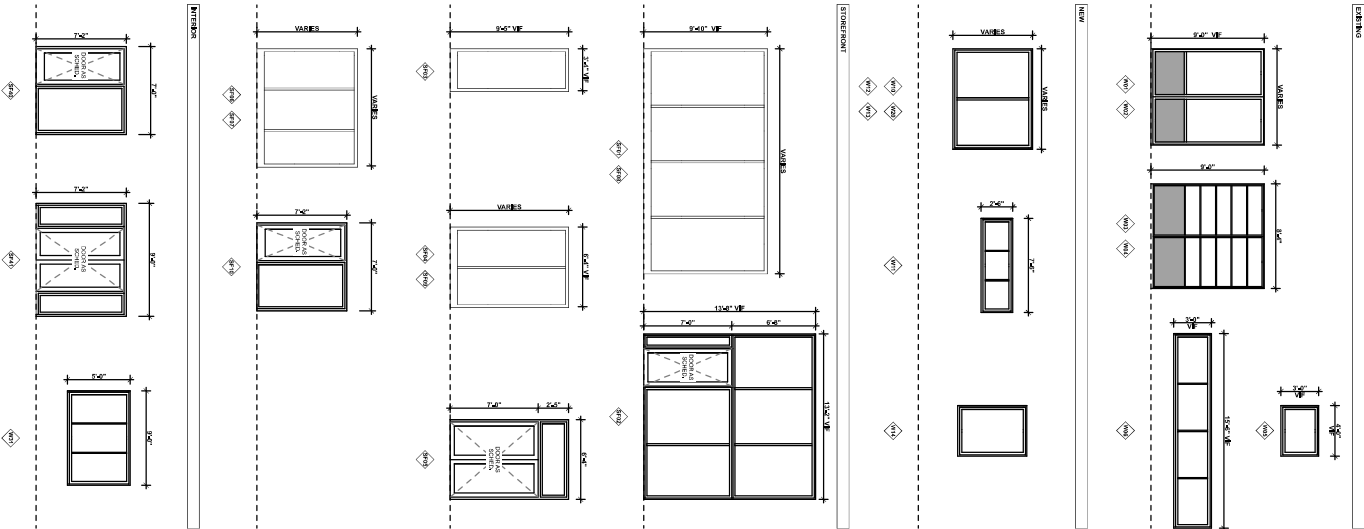
## DOOR SIGNAGE LOCATION



## HEAD/JAMB DETAILS



WINDOW TYPES



WINDOW SCHEDULE							NOTES	
MARK	APPROX. SIZE WIDTH HEIGHT	ELEVATION/LOCATION	TYPE	MATERIAL	EXISTING/NEW STATUS OPENING WINDOW	GLAZING		
EXISTING							SCAFFE CLEAN & REPAIR EXISTING FRAMES. REPLACE GLAZING. RE-INSTALL METAL PANELS	
W01	7'-0" 9'-0"	NORTH ELEVATION - LEVEL 2A	CASEMENT	AL	EXISTING	G2		
W02	8'-0" 9'-0"	NORTH ELEVATION - LEVEL 2A	CASEMENT	AL	EXISTING	G2		
W03	7'-0" 9'-0"	SOUTH ELEVATION - LEVEL 4A	FIXED	STL	EXISTING	G2		
W04	8'-4" 9'-0"	SOUTH ELEVATION - LEVEL 4A	FIXED	STL	EXISTING	G2		
W05	4'-0" 3'-0"	PLAZA - LOBBY LOUNGE	FIXED	AL	EXISTING	G5		
W06	15'-0" 3'-0"	PLAZA - LOBBY LOUNGE	FIXED	AL	EXISTING	G5		
NEW							ALIGN WITH EXISTING ADJACENT OPENING. SEE ELEV	
W10	8'-0" 6'-0"	PLAZA - UNIT 103	FIXED	AL	NEW	G2		
W11	7'-0" 7'-0"	PLAZA - UNIT 103	FIXED	AL	EXISTING	G2		
W12	4'-0" 2'-0"	PLAZA - UNIT 103	FIXED	AL	NEW	G2		
W13	6'-0" 2'-0"	EAST ELEVATION - UNIT 101	CASEMENT	AL	NEW	G2		
W14	4'-0" 6'-0"	SOUTH ELEVATION - LEVEL 1A	FIXED	AL	NEW	G2		
W20	7'-0" 5'-0"	PENTHOUSE LEVEL - UNITS	CASEMENT	AL	NEW	G2		
INTERIOR WINDOWS							NOT VISIBLE FROM EXTERIOR IN LIGHTWELL	
W21	9'-0" 5'-0"	CORRIDOR - ALBANY	FIXED	AL	NEW	G2		
INTERIOR STOREFRONTS							20' MIN. RATED ASSEMBLY	
SF01	18'-0" 9'-10"	NORTH ELEVATION - BASEMENT UNITS	-	AL	EXISTING	G2		
SF02	13'-0" 13'-0"	PLAZA - UNIT 009	-	AL	EXISTING	G2		
SF03	3'-0" 9'-0"	PLAZA - LOBBY LOUNGE	-	AL	EXISTING	G2		
SF04	6'-0" 9'-0"	PLAZA - LOBBY LOUNGE	-	AL	EXISTING	G2		
SF05	6'-4" 9'-0"	PLAZA - LOBBY LOUNGE	-	AL	EXISTING	G2		
SF06	9'-4" 8'-0"	PLAZA - UNIT 008	-	AL	EXISTING	G2		
SF07	10'-10" 9'-10"	PLAZA - UNIT 008	-	AL	EXISTING	G2		
SF08	16'-0" 9'-10"	PLAZA - UNIT 008	-	AL	EXISTING	G2		
SF09	8'-4" 9'-10"	PLAZA - UNIT 008	-	AL	EXISTING	G2		
SF10	7'-0" 7'-0"	PENTHOUSE LEVEL - UNITS	-	AL	NEW	G2		
EXTERIOR STOREFRONTS							20' MIN. RATED ASSEMBLY. COORDINATE W/ DOOR	
SF20	7'-0" 7'-0"	ALBANY ENTRY	-	AL	NEW	G2		
SF21	9'-0" 7'-0"	ALBANY ENTRY	-	AL	NEW	G2		
SKYLIGHTS							VELUX FIXED CURB MOUNTED OR SIMILAR PROVIDE AUTOMATIC SHADE	
SK1	2'-0" 4'-0"	PLAZA - BASEMENT UNITS	-	AL	NEW	G2		
SK2	3'-0" 3'-0"	PLAZA - BASEMENT UNITS	-	AL	NEW	G2		
SK3	3'-0" 3'-0"	LEFT WELL AT SOUTH ELEVATION	-	AL	NEW	G2		
SK4	1'-0" 4'-0"	LEFT WELL AT SOUTH ELEVATION	-	AL	NEW	G2		
WINDOW SCHEDULE KEY							VELUX FIXED CURB MOUNTED OR SIMILAR	
AL	ALUMINUM							
STL	STEEL							
G1	CLEAR SINGLE PANE							
G2	LOW-E GLAZING							
G3	TEMPERED PROTECTED GLASS							
G4	TEMPERED TRANSLUCENT GLASS							
G5	EXISTING, SCRAPER & CLEAN OR REPLACE AS NEEDED							
G6	FIXE RATED GLASS TO MATCH EXISTING							
NOTES/ COMMENTS KEY							VELUX FIXED CURB MOUNTED OR SIMILAR	
1	ALL EXISTING OPENINGS TO BE V.I.F. BY CONTRACTOR. REFER TO GENERAL NOTES FOR WINDOW REPAIR SCOPE.							
2	REMOVE LOWER EQUIPMENT PROVIDE NEW WINDOW IN EXISTING OPENING							
3	EXISTING FRAME TO REMAIN. REPLACE GLAZING							
4	NEW WINDOW IN ENLARGED OPENING							
5	PROVIDE ROLLER SHADES ON ALL WINDOWS AND STOREFRONTS							
6	LOCATION AND ELEVATIONS PROVIDED AS COURTESY. REFERENCE PLANS FOR ALL LOCATIONS							
7	NEW STOREFRONT WILL FINISH TO MATCH EXISTING							
8	NEW STOREFRONT WILL FINISH TO MATCH EXISTING							

WINDOW NOTES

1. REFER TO WINDOW SCHEDULE FOR ALL DIMENSIONS AND WINDOW PERFORMANCE. DIMENSIONS GIVEN ARE APPROXIMATE. VERIFY ALL OPENING DIMENSIONS IN THE FIELD. OPENINGS SHALL NOT ALLOW MORE THAN 1/2" GAP FOR MODERATION SEALANT.
2. REFER TO DRAWING A100 FOR WINDOW REPAIR NOTES.
3. FOR WINDOW REPAIRS, REPAIRS BY THE REPAIR PERSONNEL SHALL BE.
4. PROVIDE SAFETY GLASS IN ALL WINDOWS REQUIRED BY NORTH CAROLINA CONSTRUCTION CODE, CHAPTER 24.
5. NEW WINDOWS SHALL BE PREMIUM GRADE ALUMINUM WINDOWS AS MANUFACTURED BY GRAMM WINDOWS. MATCH EXISTING FINISHES, SETS AND BEVELS TO THE BEST OF THE REPAIR PERSONNEL.
6. PROVIDE REPAIR FOR EXISTING WINDOW GLAZING AND GLAZING WHERE ADVERSE TO BE PRESENT.
7. PROVIDE REPAIR FOR EXISTING WINDOW GLAZING AND GLAZING WHERE ADVERSE TO BE PRESENT.
8. PROVIDE REPAIR FOR EXISTING WINDOW GLAZING AND GLAZING WHERE ADVERSE TO BE PRESENT.
9. PROVIDE REPAIR FOR EXISTING WINDOW GLAZING AND GLAZING WHERE ADVERSE TO BE PRESENT.
10. INTERNATIONAL ENERGY CONSERVATION CODE (IECC) REQUIREMENTS (GLASS GLAZING).
11. METAL GLAZING WINDOWS 14" x 20" (EXCEPT 14" x 20") SHALL BE SHOWN ON THE DRAWING.
12. METAL GLAZING WINDOWS 14" x 20" (EXCEPT 14" x 20") SHALL BE SHOWN ON THE DRAWING.
13. METAL GLAZING WINDOWS 14" x 20" (EXCEPT 14" x 20") SHALL BE SHOWN ON THE DRAWING.
14. SEE STRUCTURAL DRAWINGS FOR THE SIZES AND DETAILS.

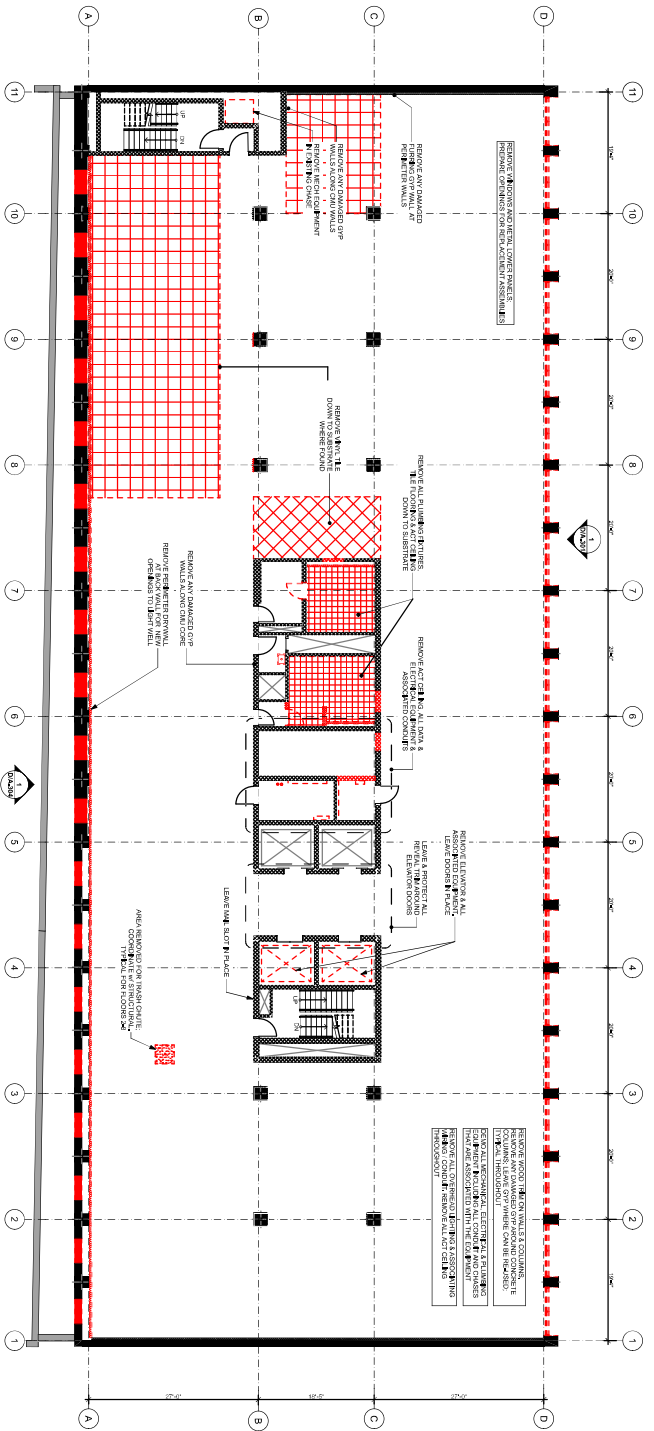




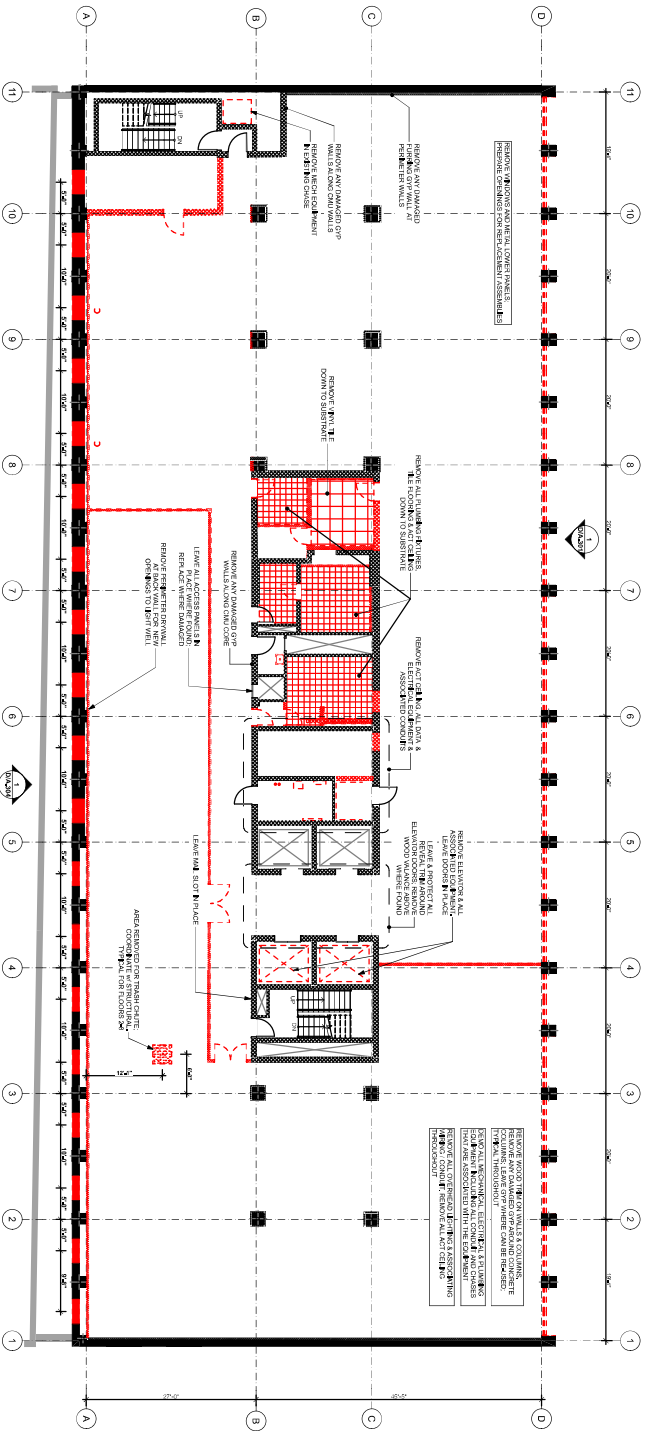


























THIRD FLOOR DEMO  
SCALE: 1/8" = 1'-0" (2)



SECOND FLOOR DEMO  
SCALE: 1/8" = 1'-0" 1

**DEMO LEGEND**

	EXISTING WALL REMAINS
	EXISTING WALL TO REMAIN, REMAINS TO BE DEMOLISHED
	EXISTING WALL TO REMAIN, EXISTING DOOR AND FRAME TO REMAIN, SEE PLAN FOR DOOR SCHEDULE
	EXISTING EXTERIOR WALL, EXISTING DOOR AND FRAME TO REMAIN, EXISTING DOOR SCHEDULE
	EXISTING EXTERIOR WALL, EXISTING DOOR AND FRAME TO REMAIN, EXISTING DOOR SCHEDULE
	EXISTING EXTERIOR WALL, EXISTING DOOR AND FRAME TO REMAIN, EXISTING DOOR SCHEDULE
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	EXISTING EXTERIOR WALL, EXISTING DOOR AND FRAME TO REMAIN, EXISTING DOOR SCHEDULE
	EXISTING EXTERIOR WALL, EXISTING DOOR AND FRAME TO REMAIN, EXISTING DOOR SCHEDULE

GENERAL DEMOLITION NOTES[illegible]

## SALVAGING

[illegible]

## Discussion

[illegible]

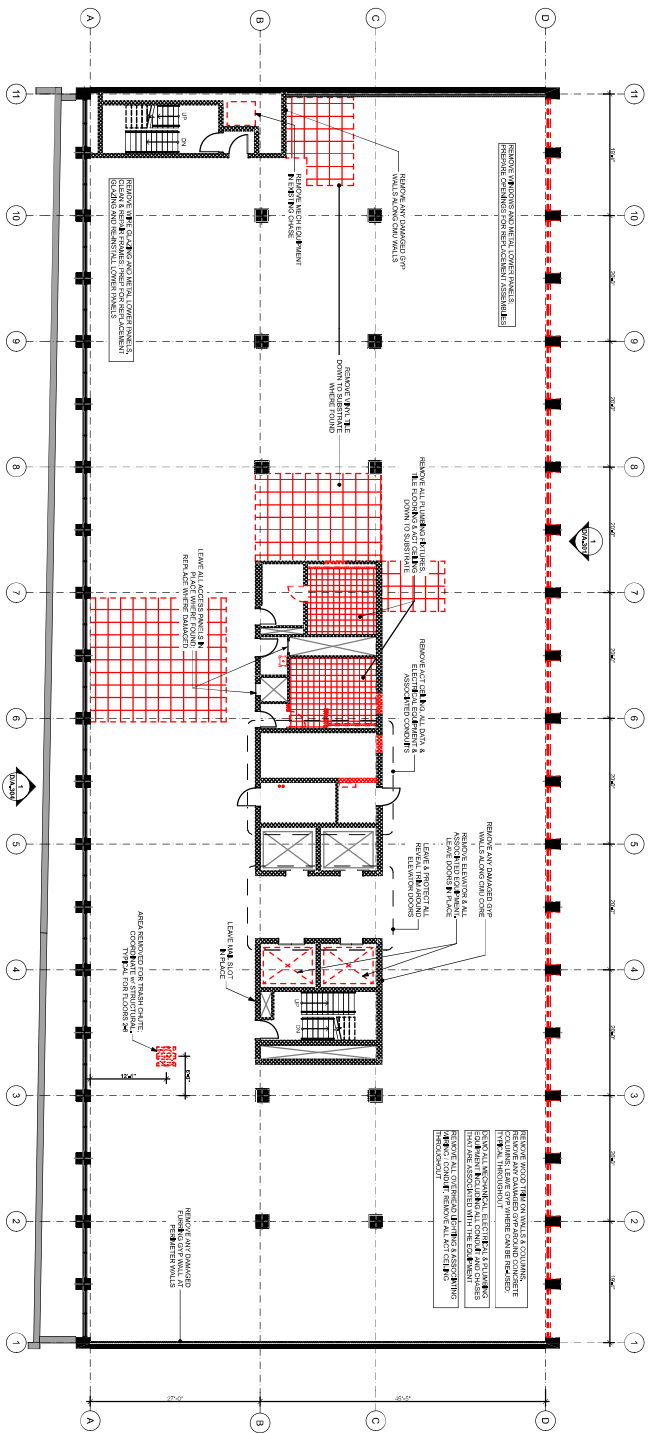
**CLEANING/ PREP**

1. WORK AND WHICH SHALL REMAIN EXPOSED TO VIEW SHALL BE CLEANED OF DUST, DIRT AND DEBRIS.
2. LIGHTLY CLEAN ALL COLUMNS, BEAMS, CEILING AND MASONRY WALLS.
3. REMOVE ALL DEBRIS FROM BUILDING UNLESS OTHERWISE NOTED. ITEMS NOT DESIGNATED TO BE REMOVED, REINSTALLED, REUSED OR SALVAGED SHALL BE REMOVED FROM THE SITE AND PROPERLY DISPOSED BY ACCORDANCE WITH ALL REGULATORY AGENCIES. LEAVE THE BUILDING AS A CLEAN SHELL.













5TH FLOOR DEMO  
SCALE: 1/8" = 1'-0"  
2



FOURTH FLOOR DEMO  
SCALE: 1/8" = 1'-0"

	EXISTING WALL REMAINS. SINKER & CLEAN, PAINT AS SPECIFIED.
	EXISTING WALL REMAINS. EXISTING DOOR & SINKER TO BE REPLACED WITH NEW, SEE PLANS FOR DOOR SINKER.
	DOOR EXISTING WALL, SINKER DOOR & SINKER TO BE REPLACED. SEE PLANS FOR DOOR LOCATION.
	DOOR EXISTING WALL.
	EXISTING COLUMN REMAINS.
	DIVID EXISTING BRICK WALL.
	REMOVE EXISTING BRICK WALL & REBUILD WITH BRICK/CONCRETE BLOCK.
	CONCRETE & REINFORCED CONCRETE & REINFORCED.

**GENERAL DEMOLITION NOTES**

[illegible]

**SALVAGGIO**

- 7. SALVAGE AND REMOVAL OF THE DOORS.** DOORS ARE TO BE SALVAGED BY THE ACTUAL DEFULTING WORKER WITH THE FOLLOWING EXCEPTIONS:
- a. SALVAGE OF ALL EXISTING GLAZES, FINISHES, OR OTHER CLEANED AND SECURELY STORED AS DIRECTED BY THE OWNER'S CONTRACTOR ASSUMES RESPONSIBILITY FOR THE SALVAGED ITEMS;
  - b. CONCRETE IN THE ACTUAL DEFAULTING WORK IS TO BE REMOVED BY THE CONTRACTOR; AND
  - c. SALVAGE OF ALL EXISTING GLAZES, FINISHES, IS TO BE PROTECTED AND STORED FOR LATER REINTEGRATION.
- ALL UNDOORS SHALL REMAIN, UNLESS OTHERWISE NOTED, AND ALL UNDOORS SHALL REMAIN UNTIL ENTRY DOORS AND DOOR FRAMES TO REMAIN.
- \*PROTECT ALL EXISTING DOORS TO BE REUSED.

## **Democracy**

- [illegible]

CLEANUP/ PREP

3. REMOVE ALL DEBRIS FROM BUILDING UNLESS OTHERWISE NOTED. ITEMS NOT DESIGNATED TO REMAIN IN SITU SHALL BE REJECTED OR SALVAGED. SALVAGE SHALL BE REMOVED FROM THE WORK AREA AND PROPERLY DISPOSED IN ACCORDANCE WITH ALL REGULATIONS. LEAVE THE BUILDING AS A CLEAN SHELL AND MASONRY WALLS.

[illegible]

## Showplace West

101 SOUTH MAIN STREET,  
HIGH POINT, NORTH CAROLINA 27260

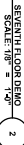
NPS SUBMISSION / PART II

### KEY PLANS



WPA studios  
ARCHITECTURE + INTERIOR DESIGN

FLOOR DEMO PLAN  
D.204

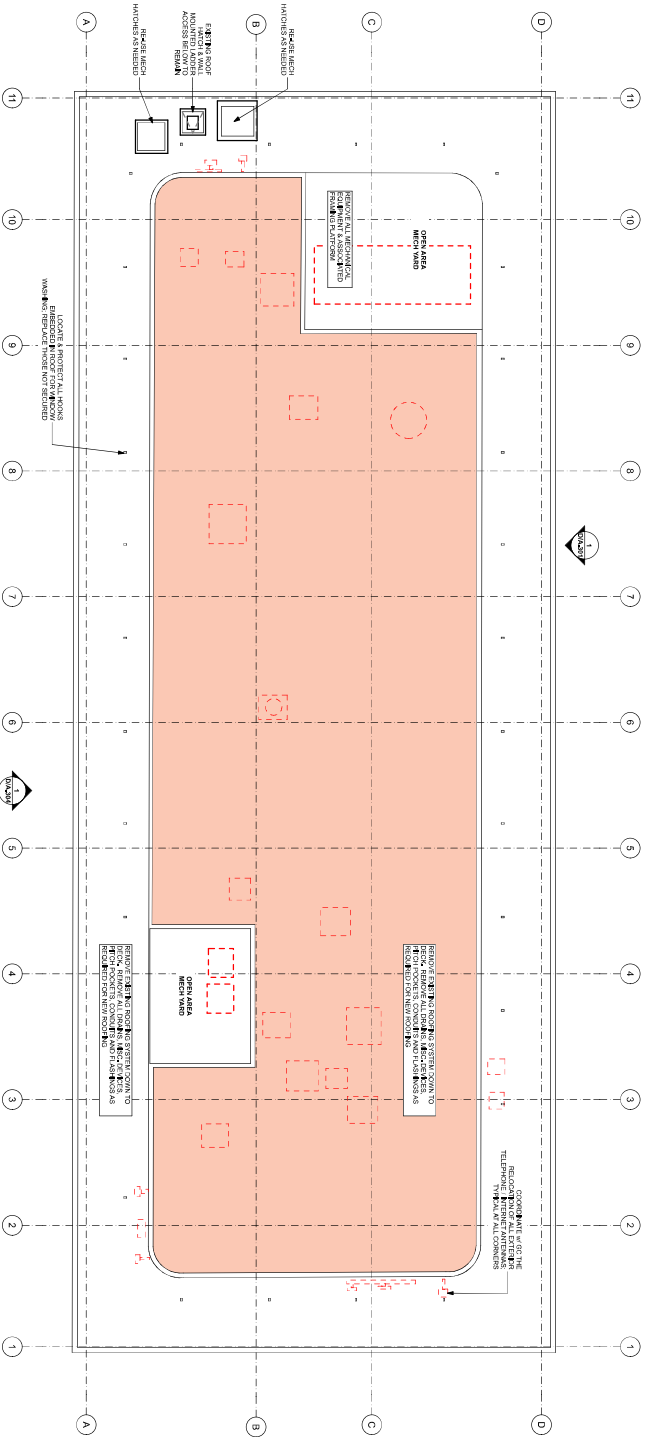


NOTED. ITEMS NOT DESIGNATED FOR REUSE OR SALVAGED SHALL BE PROPERLY DISPOSED IN







KEY PLAN







ROOF DEMO  
SCALE: 1/8" = 1'-0"

DENO LEGEND	
	EXISTING WALL REMAINS UNREMOVED
	EXISTING WALL REMAINS, EXISTING DOOR AND FRAME TO BE REMOVED, REPLACE WITH DOOR FRAME
	DOOR EXISTING WALL, EXISTING DOOR AND FRAME TO BE REMOVED, REPLACE WITH WALL, DOOR LOCATION, DOOR FRAME REMAIN
	DOOR EXISTING WALL, EXISTING DOOR FRAME REMAINS
	DOOR EXISTING DOOR FRAME, EXISTING DOOR FRAME TO BE REMOVED, EXISTING DOOR FRAME TO REMAIN
	NEW EXISTING CHIMNEY, CONCRETE & STRUCTURAL

### GENERAL DEMOLITION NOTES

**GENERAL DEMOLITION NOTES**

1. **THEORETICAL AND CONCEPTUAL FOUNDATIONS**  
This section provides a comprehensive overview of the theoretical and conceptual foundations of the research. It begins with a discussion of the importance of understanding the relationship between organizational structure and performance, particularly in the context of the information technology industry. The authors then introduce the concept of "strategic fit," which refers to the alignment between an organization's internal structure and its external environment. This concept is further elaborated upon by discussing the various factors that influence strategic fit, such as market conditions, technological advancements, and organizational capabilities. The section concludes by highlighting the research gap that the study aims to address, which is the lack of empirical evidence on the specific mechanisms through which organizational structure influences performance in the information technology industry.

2. **RESEARCH DESIGN AND METHODOLOGY**  
This section details the research design and methodology used in the study. It begins with a description of the sample, which consists of 150 information technology companies listed on the New York Stock Exchange. The authors then describe the data collection process, which involved gathering financial data from the companies' annual reports and other public sources. The methodology section outlines the use of a multiple regression model to analyze the data, with organizational structure as the independent variable and performance (measured by return on equity) as the dependent variable. The authors also discuss the control variables included in the model, such as company size, industry, and age. Finally, the section concludes by describing the statistical software used for the analysis and the significance level set at 0.05.

3. **RESULTS AND DISCUSSION**  
This section presents the results of the study and discusses their implications. It begins with a summary of the descriptive statistics, showing that the average return on equity for the sample companies is 12.5%. The authors then present the results of the multiple regression analysis, which shows that organizational structure has a significant positive effect on performance. Specifically, the coefficient for the organizational structure variable is 0.05, indicating that a one-unit increase in the structure variable leads to a 0.05-unit increase in return on equity. This finding is consistent with the theoretical expectations of the research. The authors then discuss the implications of these results, noting that the findings suggest that organizations in the information technology industry should pay attention to their internal structure to improve their performance. The section concludes by highlighting the limitations of the study and suggesting areas for future research.

4. **CONCLUSIONS**  
This section provides a brief summary of the main findings of the study and offers some final thoughts. The authors reiterate that the study found a significant positive relationship between organizational structure and performance in the information technology industry. They conclude by emphasizing the importance of strategic fit and the need for organizations to regularly assess and adjust their internal structure to remain competitive in a rapidly changing market. The section ends with a statement of the authors' appreciation for the support and assistance provided by the research fund.

### SALVAGE PRICE

[illegible]

### **Demographics**

5. REMOVE WALLS AND PARTITIONS.
6. PROTECT AND MAINTAIN TEMPORARY SHEDS, BRACING AND SCAFFOLDING TO REMAIN FOR THE DURATION OF THE CONSTRUCTION TO REPAIR.
7. PROVIDE AND MAINTAIN BARRELS AND OTHER PROTECTION REQUIRED TO PREVENT INJURY TO PEOPLE OR DAMAGE TO ADJACENT PROPERTY.
8. REMOVE WALLS AND PARTITIONS.
9. EXISTING CONSTRUCTION AND ITEMS NOT USED AS PART OF NEW CONSTRUCTION INCLUDING BUT NOT LIMITED TO PILING, SHALL BE DEMOLISHED AND DEBRIS SHALL BE REMOVED AND WOOD LOADINGS AND SLAB WEIGHTS SHALL BE REDUCED AND NOT ABANDONED BEFORE TAKES REMOVAL IS NOT POSSIBLE AS DETERMINED BY PROJECT ENGINEER.
10. NOT USED

ii. NOT USED

7. REMOVE ALL SUSPENDED CEILING INCLUDING ACCESSORIES, WIRES, STRUTS, LIGHT FIXTURES, ETC. AND UNCOVER ALL OF THE BUILDING STRUCTURE.

**WINDOW OPENINGS. COORDINATE ALL NEW OPENINGS WITH NEW WORK. PROVIDE TEMPORARY SHORING OR STRUCTURAL SUPPORT/FRAMING AS REQUIRED.**

10. REMOVE ALL PLUMBING LINES AND CAP BEHIND WALL AND FLOOR FINISHES UNLESS OTHERWISE NOTED.

12. SEE ELEVATIONS, AND OTHER DEMOLITION DRAWINGS FOR ADDITIONAL DETAIL AND NOTE.

15. REMOVE ALL CHIPPED, CRACKED, WIND, PATTERNED AND ANY NON-TRANSPARENT GLASS FROM WINDOWS, TRANSCOMS, SHELFS AND DOORS THAT ARE TO BE REUSED. SCRAPE LOOSE PAINT.

LIMITED TO T.E. CARPET, VCT, TO SUBSTRATE OR EXISTING WOOD FLOORING, TERRAZZO OR OTHER ORIGINAL FLOORING MATERIALS AND UNLESS OTHERWISE NOTED.

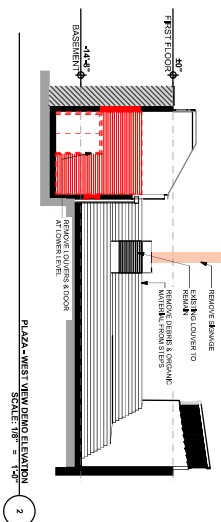
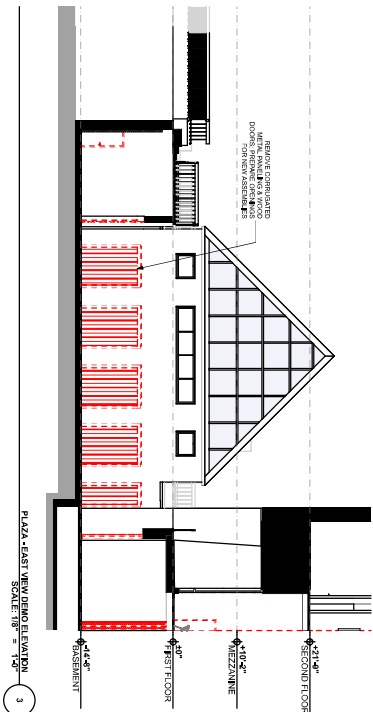
1. ALL EXPOSED SURFACES AFFECTED BY THE DEMOLITION WORK AND WHICH SHALL REMAIN EXPOSED TO VIEW SHALL BE CLEANED OF DUST, DIRT AND DEBRIS.

3. REMOVE ALL DEBRIS FROM BUILDING UNLESS OTHERWISE NOTED. ITEMS NOT DESIGNATED TO REMAIN REINSTALLED.

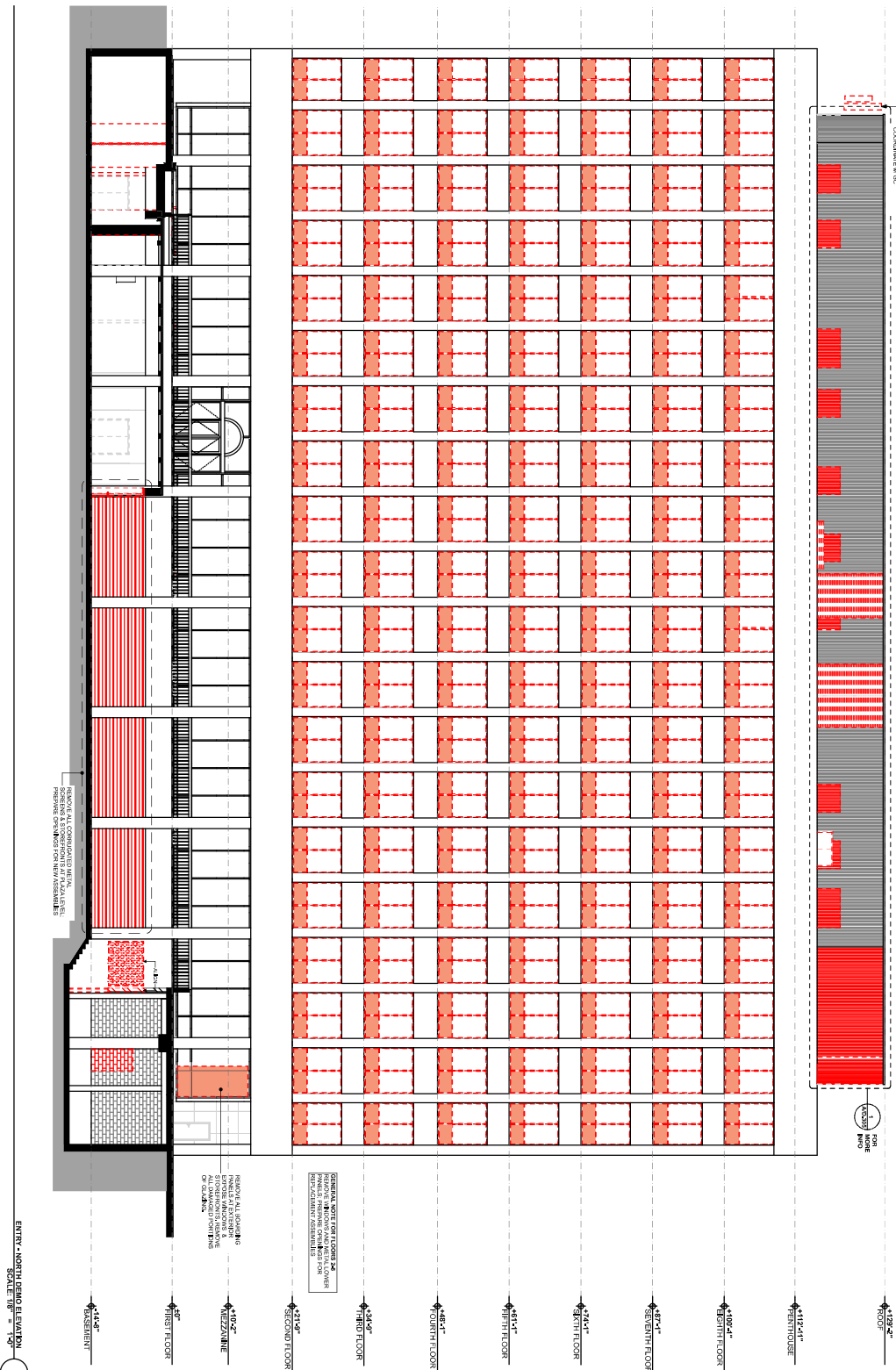
AND PROTECT IT FROM DAMAGE IN ALL REGIONS. LEAVE THE BUILDING AS A CLEAN SHELL.

[illegible]





DEMOLITION KEY NOTES	
	DAMAGED AREA. PREP FOR REPAIRS & PATCHING AS NEEDED
	COVERED AREA, REMOVE EXISTING PANELS AND PREPARE FOR REPAIRS OR NEW ASSEMBLY
	NEW OPENING, COORDINATE w/ STRUCTURAL & PREPARE FOR NEW ASSEMBLY



<b>D</b>	<b>DATE</b>	<b>ISSUE</b>	<b>Charge</b>
01	05-22-25		

PROJECT #

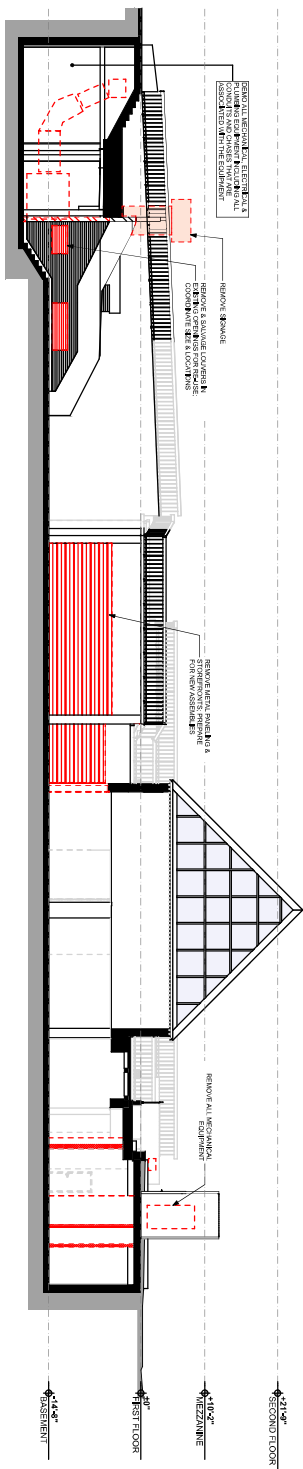
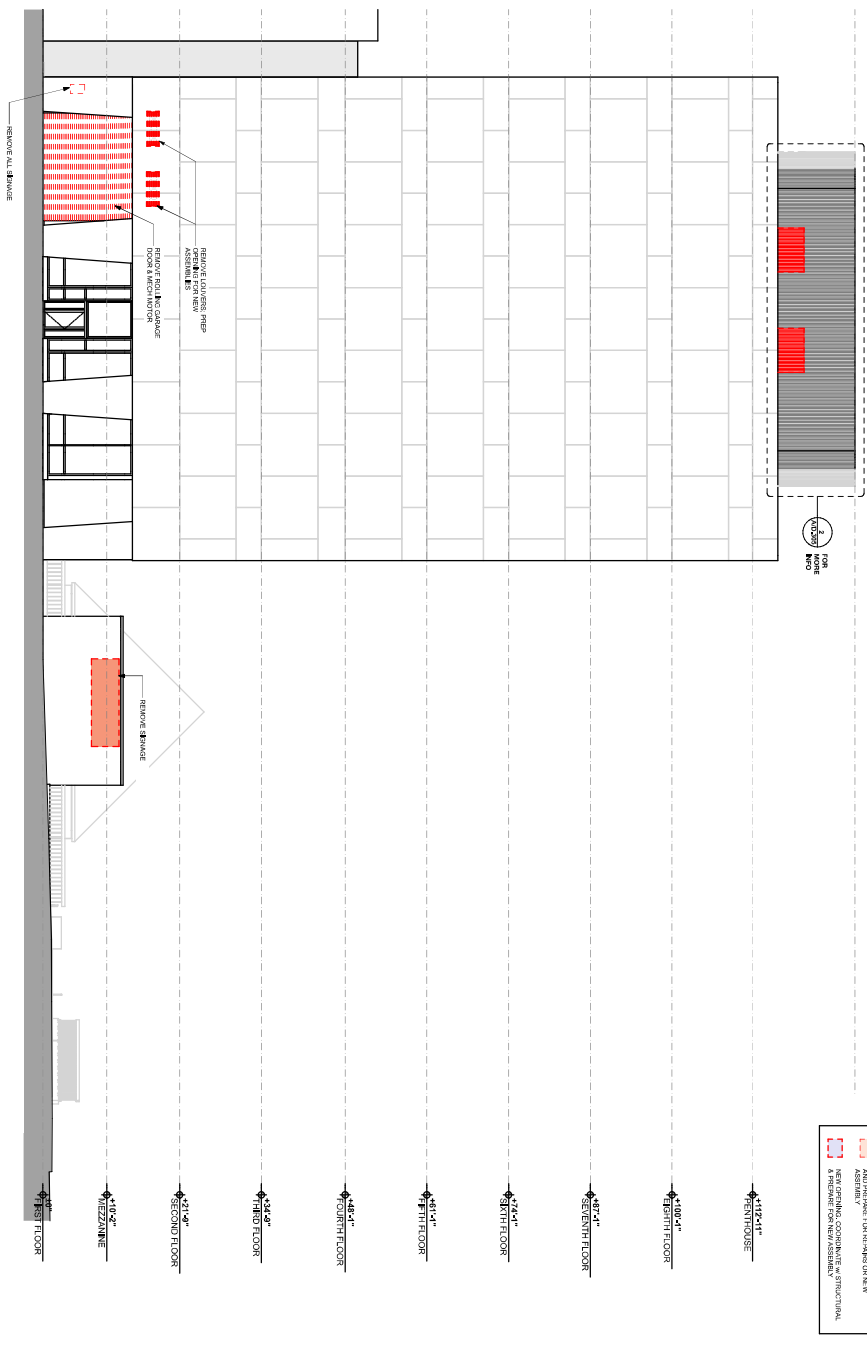
**#Project ID:**

**Showplace West**  
101 SOUTH MAIN STREET,  
HIGH POINT, NORTH CAROLINA 27260

101 SOUTH MAIN STREET,  
HIGH POINT, NORTH CAROLINA 27260

NPS SUBMISSION / PART II

**ELEVATIONS**  
**D.301**



PLAZA - NORTH VIEW DEMO ELEVATION  
SCALE: 1/8" = 1'-0"

1




ELEVATIONS  
D.302

## Showplace West

101 SOUTH MAIN STREET,  
HIGH POINT, NORTH CAROLINA 27260

NPS SUBMISSION / PART II

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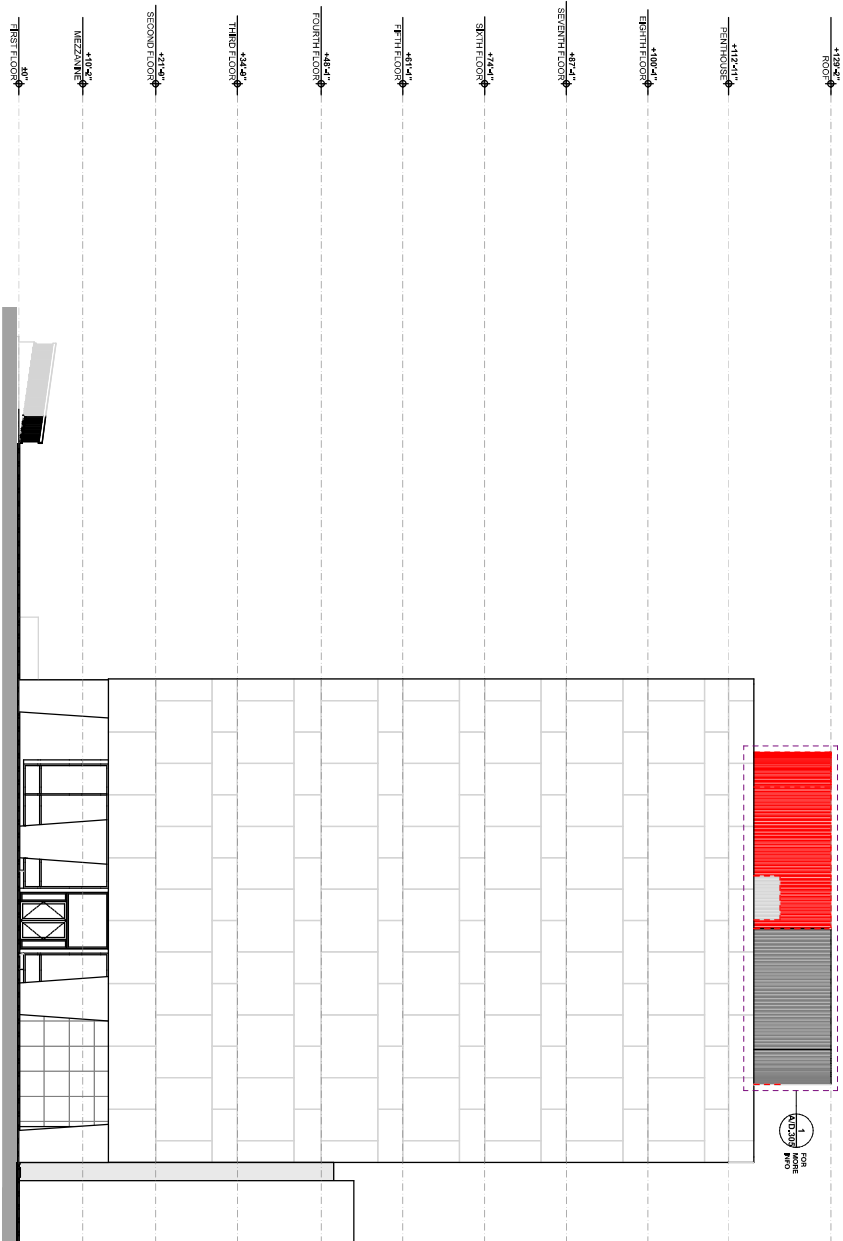
DEMOLITION KEY NOTES	
	DAMAGED AREA - PRIED FOR REPAIRS & PATCHING AS NEEDED
	COVERED AREA - REMOVE EXISTING PANELS AND PREPARE FOR REPAIRS OR NEW ASSEMBLY
	NEW OPENING, COORDINATE W/ STRUCTURAL & PREPARE FOR NEW ASSEMBLY






313 N. ADAMS STREET  
RICHMOND, VIRGINIA 23220  
t: 804-644-4781  
f: 804-644-4783  
www.bk7.com

**KEY PLAN**





DEMOLITION KEY NOTES	
	DAMAGED AREA. PREF. FOR REPAIRS & PATCHING AS NEEDED
	COVERED AREA. REMOVE EXISTING PANELS AND PREPARE FOR REPAIRS OR NEW ASSEMBLY
	NEW OPENING. COORDINATE W/ STRUCTURAL & PREPARE FOR NEW ASSEMBLY

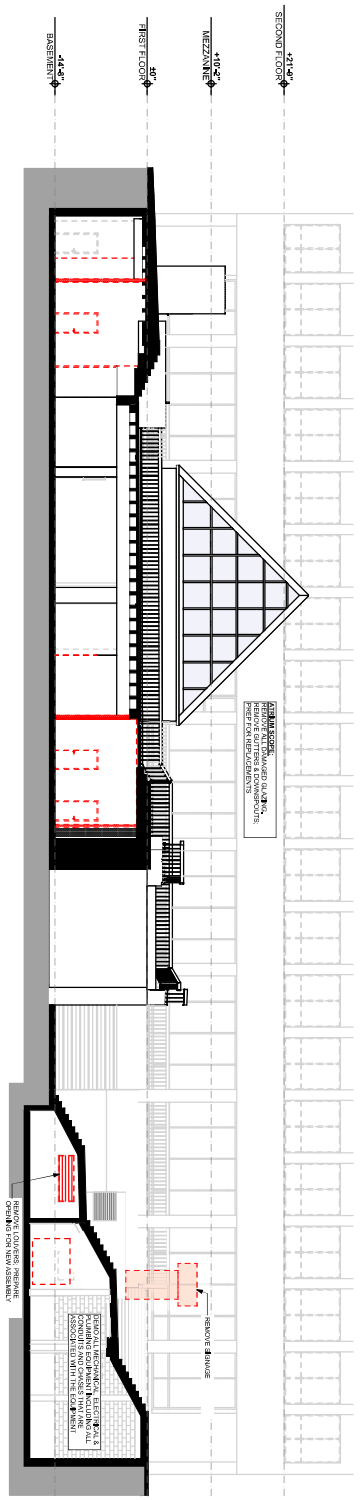


**WPA**  
studios  
ARCHITECTURE • INTERIOR DESIGN  
313 N. ADAMS STREET  
RICHMOND, VIRGINIA 23220  
T: 804.644.4781  
F: 804.644.4783  
wpa@wpa.com



KEY PLAN

S MAIN ST - WEST DEMO ELEVATION  
SCALE: 1/8" = 1'-0"



PLAZA - NORTH DEMO ELEVATION  
SCALE: 1/8" = 1'-0"

ELEVATIONS  
D.303

DEMOLITION KEY NOTES

DEMOLISHED WALL

PREP FOR NEW WALLS & WINDOWS AS NOTED

CONCRETE, BRICK, & STUCCO EXISTING FINISHES

EXISTING ROOFING TO REMAIN OR NEW

NEW ROOFING, COORDINATE W/ STRUCTURAL

& PREPARE FOR NEW ASSEMBLY

WPA studios

301 N. LAMAR STREET  
HIGH POINT, NORTH CAROLINA 27260  
TEL: 336.885.1234  
WWW.WPASTUDIOS.COM

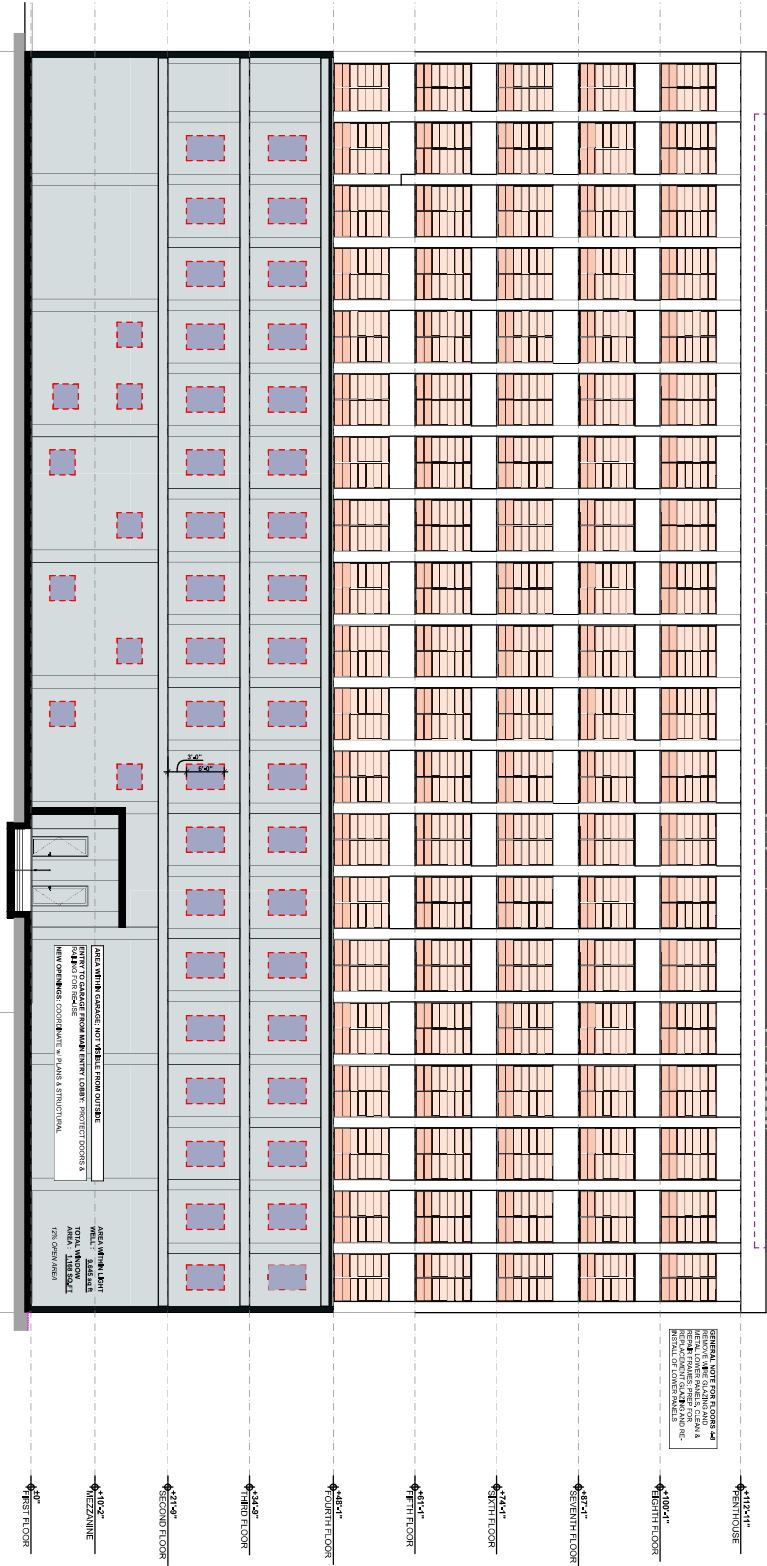
ARCHITECT: JEFFREY A. HARRIS, AIA  
ARCHITECT FIRM: JEFFREY A. HARRIS ARCHITECTS, P.A.  
REGISTERED PROFESSIONAL ARCHITECT  
STATE OF NORTH CAROLINA  
EXPIRATION DATE: 12/31/2025  
LICENSE NO.: 000789

SEAL

JEFFREY A. HARRIS  
ARCHITECT  
DATE

KEY PLAN

GENERAL NOTE FOR ROOM 34  
THIS ROOM IS TO BE DEMOLISHED  
AND REBUILT AS A NEW OFFICE  
SPACE. ALL EXISTING WALLS, CEILING  
& FLOORING TO BE REMOVED.  
NEW WALLS, CEILING & FLOORING  
TO BE INSTALLED AS NOTED.




GARAGE - 50' IN FRONT OF BUILDING  
SCALE 1/8" = 1'-0"

ELEVATIONS  
D.304

NO.	DATE	BY	CHKD
1	06/01/25	JH	JH
2	06/01/25	JH	JH
3	06/01/25	JH	JH
4	06/01/25	JH	JH
5	06/01/25	JH	JH
6	06/01/25	JH	JH
7	06/01/25	JH	JH
8	06/01/25	JH	JH
9	06/01/25	JH	JH
10	06/01/25	JH	JH

Showplace West  
101 SOUTH MAIN STREET,  
HIGH POINT, NORTH CAROLINA 27260  
RPS SUBMISSION / PART II




DEMOLITION KEY NOTES	
	DEMOLISHED AREA
	PREP FOR REPAIRS & RECONSTRUCTION
	CONCRETE, BRICK, & OTHER EXISTING MATERIALS
	REPAIRS FOR REMAINING MATERIALS
	REPAIRS FOR NEW ASSEMBLY
	REPAIRS FOR NEW ASSEMBLY




WPA studios

301 N. LAMAR STREET  
FLOOR 2  
DURHAM, NC 27601  
TEL: 919.286.1111  
WWW.WPASTUDIOS.COM


ARCHITECT: WPA STUDIOS  
PROJECT: SHOWPLACE WEST  
DATE: 05/20/21



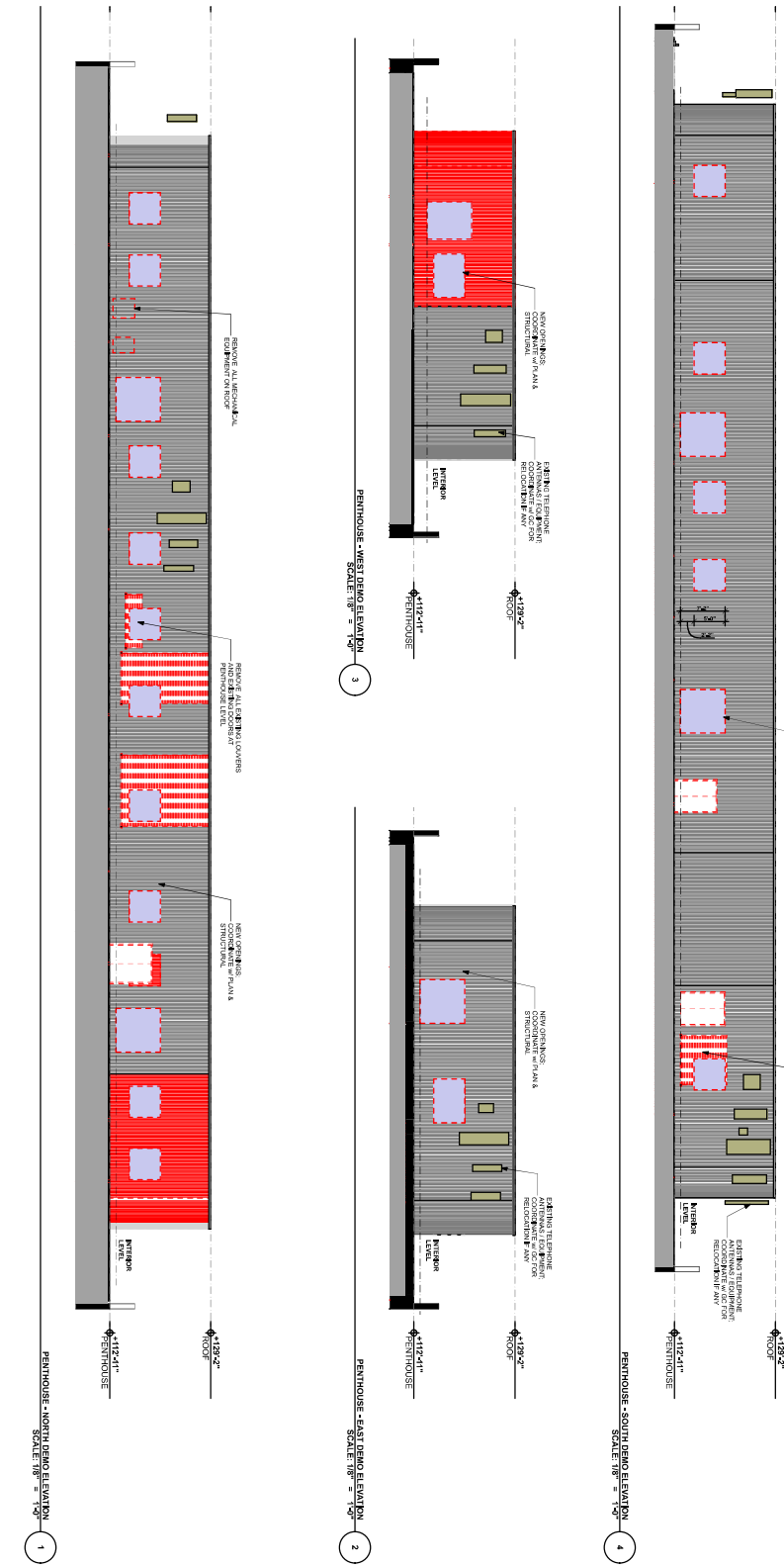
ARCHITECT: WPA STUDIOS  
PROJECT: SHOWPLACE WEST  
DATE: 05/20/21



ARCHITECT: WPA STUDIOS  
PROJECT: SHOWPLACE WEST  
DATE: 05/20/21



ARCHITECT: WPA STUDIOS  
PROJECT: SHOWPLACE WEST  
DATE: 05/20/21



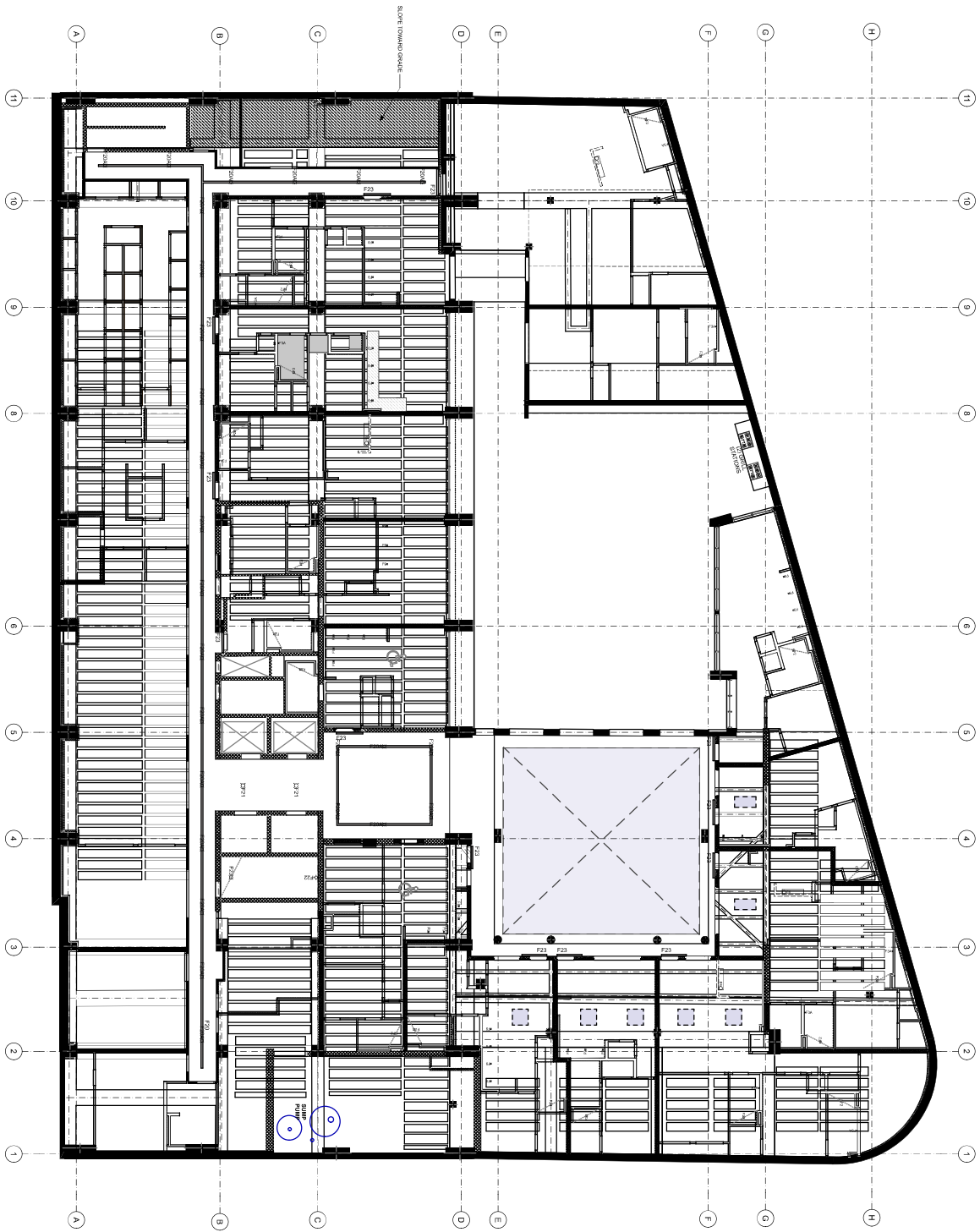
SHOWPLACE WEST

101 SOUTH MAIN STREET,  
HIGH POINT, NORTH CAROLINA 27260

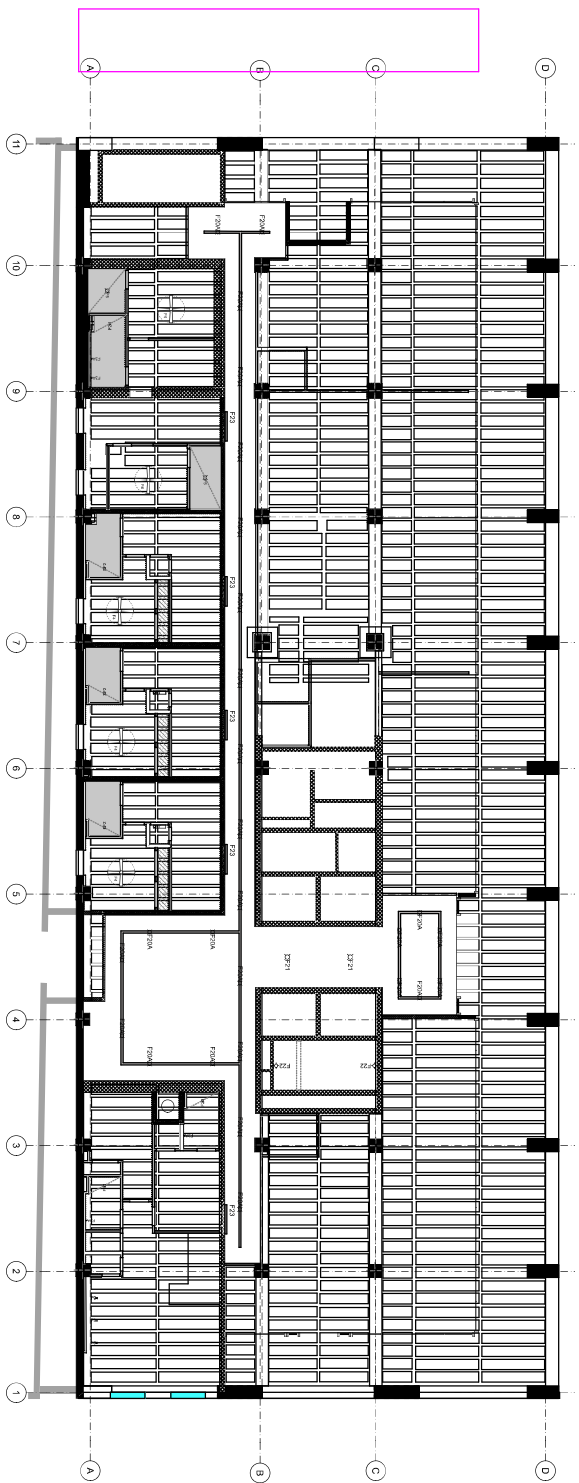
RPS SUBMISSION / PART II

ELEVATIONS  
D.305

NO.	DATE	BY	CHKD
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10			

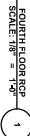
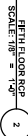
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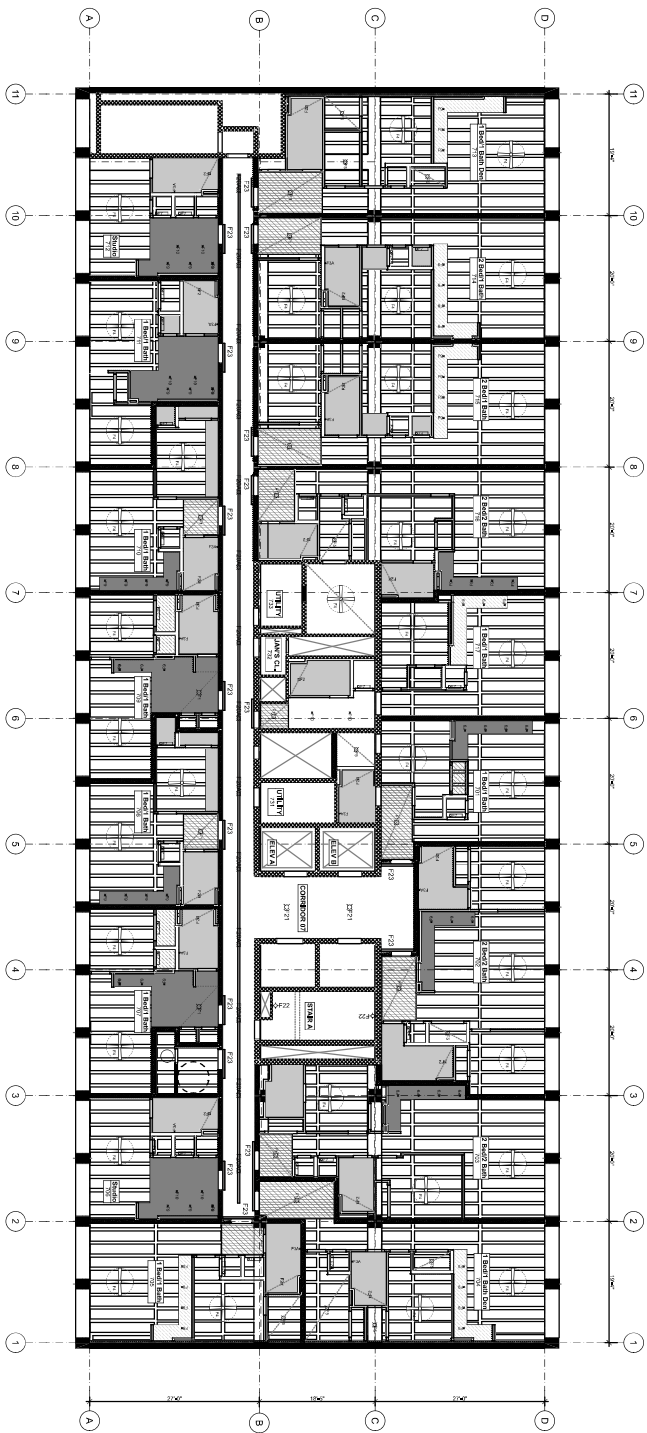


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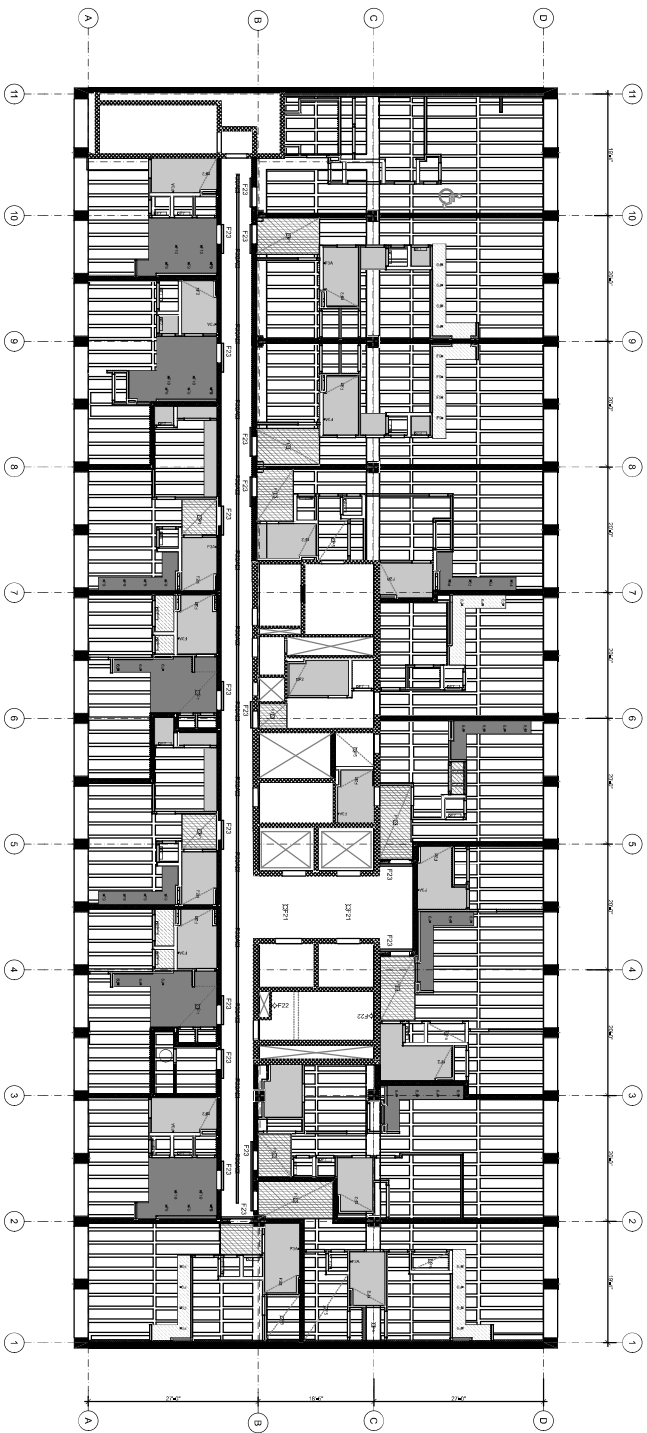
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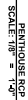
SEVENTH FLOOR RCP  
SCALE: 1/8" = 1'-0"



SEVENTH FLOOR RCP  
SCALE: 1/8" = 1'-0"

[illegible]



[illegible]

## Avery Tew

---

**From:** Katie Paulson <katie@commonwealthpreservationgroup.com>  
**Sent:** Wednesday, November 26, 2025 10:32 AM  
**To:** Avery Tew  
**Cc:** Rebekah McGee; Kayla Halberg; Andrew Hampton; J. Leslie Bell; Sarah McInerney  
**Subject:** One Plaza Center, Basis of Design Images for HPC  
**Attachments:** slab door.jpeg; 2025-03-25 12.02.33.jpeg; Cielo Information Sheet - glass screen.pdf  
  
**Categories:** Historic Preservation

**\*WARNING\* This email originated outside Guilford County's email system.**

**\*WARNING\***

**Do not click or open unrecognized links and attachments. When in doubt, click on the Phish Alert Report**

Hi Avery,

At Mr. Bell's suggestion, we have pulled together a few supplementary basis of design images for some of the proposed items outlined in the COA application for the December 16th meeting. Please see attached, which include:

- Glass wall rail for plaza
- Existing pavers to remain (all appear in place and in good condition)
- Interior slab door

Please let us know if you have any questions.

Best,  
Katie

--

Katie Paulson



536 W 35th Street

Norfolk, VA 23508

(o) 757-923-1900

(c) 540-246-2496



# Cielo™ Post Windscreen System



## Elevate the Outdoor Experience

The CRL Cielo Post Windscreen System is designed to enhance outdoor experiences by combining sought after performance and aesthetic features. A slim 3-1/4" front trim and 4-1/2" post depth delivers optimal structural performance while producing virtually unobstructed views. No horizontal extrusions are required for support, resulting in striking post-to-post glass spans of up to 5 feet.

As a high-performance protective glass barrier, the Cielo Post Windscreen System is capable of withstanding wind loads of up to 80 PSF. This makes it an excellent choice for commercial and residential buildings with high elevations. Applications include rooftop swimming pools, dining areas, lounges, and other high-altitude exteriors.

## CRL | Cielo™ Features & Benefits

The versatile CRL Cielo Post Windscreen System is available in 6-, 7-, and 8-foot standard post heights. Several stanchions are available, allowing surface and core mounting onto steel or concrete. A unique snap in system for post covers expedites installation and conceals fasteners to create a streamlined look.

- Slim 3-1/4" front trim produces unobstructed views
- 4-1/2" post depth enhances structural performance
- Capable of handling 80 PSF wind loads
- Meets IBC 2018 and ASCE-7/16 windload requirements
- Select from 6', 7', and 8' standard post heights
- End posts, center posts, and corner posts available
- No horizontal extrusions needed
- Durable 6005-T6 aluminum construction
- Maximum height including glass: 8 feet
- Maximum space between posts: 5 feet
- Surface or core mounting on steel or concrete
- For 9/16" laminated tempered glass
- Standard finishes include Matte Black, Silver Metallic, and Sky White. Custom finishes available.











*Darpet*<sup>inc.</sup>  
doors & trim



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## **GUILFORD COUNTY PLANNING AND DEVELOPMENT**

## **Historic Preservation Commission Staff Report for Certificate of Appropriateness**

### **Property Information**

**Name of Landmark:** One Plaza Center (Showplace West)

**Property Address:** 101 S Main St, High Point, NC 27260

**Tax Parcel:** 171404

**Owner(s):** FHP HIGH STREET LLC

### **Project Summary**

#### **Exterior Changes Proposed:**

- Sunken Plaza and Site: Repair concrete stairs, metal handrails, and existing pavers; remove non-historic site elements to accommodate use of plaza for tenant amenities and outdoor activities; remove and replace plaza pavers as necessary; remove non-historic planters (no historic concrete planters remain on site); install new skylights along perimeter of sunken plaza to allow natural light in basement units; install new 60-inch tall glass railing fences at access points to sunken plaza; install new equipment in existing mechanical enclosure at east end of site.
- Building Exterior and Roof: Repair exterior walls using guidance contained in Preservation Brief No. 15: Preservation of Historic Concrete; remove existing roof membrane down to deck, along with conduits, flashing, and drains, and replace with new roof; repair rooftop penthouse and replace exterior cladding with materials to match existing; install skylights on connection to adjacent non-historic garage building to provide natural light to first floor units.
- Windows and Exterior Doors: Replace windows on upper floors with new windows to match existing, retaining the solid bottom panels; install clear glass on rear windows; insert new window openings, e.g., within rooftop penthouse and behind louvers at sunken plaza, installing aluminum casement windows and fixed storefront; repair all first floor storefront as needed; replace storefront assemblies at sunken plaza; replace overhead door on east elevation (Wrenn Street) with a shortened door to accommodate proposed mezzanine floor (see "Interior Plan" section below); install new doors at penthouse level to provide roof access.

#### **Interior Changes Proposed:**

- Interior Plan: Install residential units at rear of first floor, basement, and upper floors, including rooftop penthouse; install new mezzanine level between first and second floors within first floor residential units (finishes to be differentiated from historic elements); install tenant amenity spaces in basement.





## **GUILFORD COUNTY PLANNING AND DEVELOPMENT**

## **Historic Preservation Commission Staff Report for Certificate of Appropriateness**

- Interior Walls and Ceilings: Remove all non-historic ceiling and wall finishes throughout building; remove integrated water fountains and accompanying plumbing; retain mailboxes on each floor, but they may be sealed and the void reused for new building systems as needed; repair existing historic finishes as feasible, including limited remaining wood paneling on eighth floor; gently clean historic travertine walls; install new smooth drywall walls to achieve proposed floor plan; install dropped ceilings where necessary to conceal systems/services.
- Floor Finishes, Interior Doors, and Woodwork: Remove non-historic floor finishes throughout building; retain and restore historic finishes discovered during demolition; install new floor finishes, including luxury vinyl tile, carpet, and tile; clean and seal areas of historic concrete floors to be left exposed; remove existing interior doors and woodwork; retain and restore remaining historic doors and woodwork; any historic doors and woodwork that has been damaged or deteriorated beyond repair will be replaced with new elements to match existing; install new interior doors and woodwork (to be differentiated from historic elements).
- Systems: Remove all existing systems within building and install new systems to meet new use of property; decommission two elevators to allow reuse of shafts for vertical systems distribution; retain elevator doors and remove non-historic vinyl wraps; remove freight elevator and shaft; remaining two elevators will be upgraded, replacing cabs and retaining existing shafts and doors.

### **Background Information**

1. One Plaza Center (Showplace West) was constructed between 1970 and 1974.
2. The landmark report for this property indicates that it is significant because (a) it was pivotal to urban renewal efforts in the City of High Point and (b) it is an excellent example of Brutalist architecture by architect James Norman Pease.
3. The property was listed on the National Register of Historic Places in April 2024 (Site No. GF0551).
4. The property was designated as a local historic landmark in December 2024.
5. The property's landmark designation includes the following:
  - a. Site Features: Concrete and brick paving and stairs; multi-level and sunken concrete plaza; concrete planters; simple metal handrails; concrete planters and original monument sign (base only); storefront openings on ground level.
  - b. Exterior Building Elements: Concrete load-bearing walls and steel structure; precast concrete panels; aluminum curtain wall fenestration on first floor and recessed windows on upper floors of front elevation; ground level concrete



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## Historic Preservation Commission Staff Report for Certificate of Appropriateness

trapezoid-shaped columns and inset first floor; recessed steel frame eight-lite wire glass windows along rear elevation; windowless side elevations; high parapet and recessed penthouse.

- c. Interior Building Elements: Mosler bank vault and door; concrete load-bearing columns; wood paneling on eighth floor; tile floor finish in first floor and basement lobbies; travertine wall panels in first floor and basement elevator lobbies; water fountains and U.S. Mail slots on each floor; stairwells with exposed painted concrete block walls, concrete floors, and metal stairs; elevator shafts and cabs, including the doors and hardware within.
- d. The entire 0.56-acre lot identified as Parcel #171404.

### Review Standards

The **Secretary of the Interior's Standards for Rehabilitation** (codified in Title 36 of the Code of Federal Regulations, Part 67) have been adopted by the Guilford County Historic Preservation Commission to guide the Commission in determining congruity with the special character of local historic landmarks for new construction, alterations, additions, moving, and demolition.

The intent of the Standards is to assist the long-term preservation of a property's significance through the preservation of historic materials and features. The Standards pertain to historic buildings of all materials, construction types, sizes, and occupancy and encompass the exterior and the interior of historic buildings. The Standards also encompass related landscape features and the building's site and environment, as well as attached, adjacent, or related new construction.

The following Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility.

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.



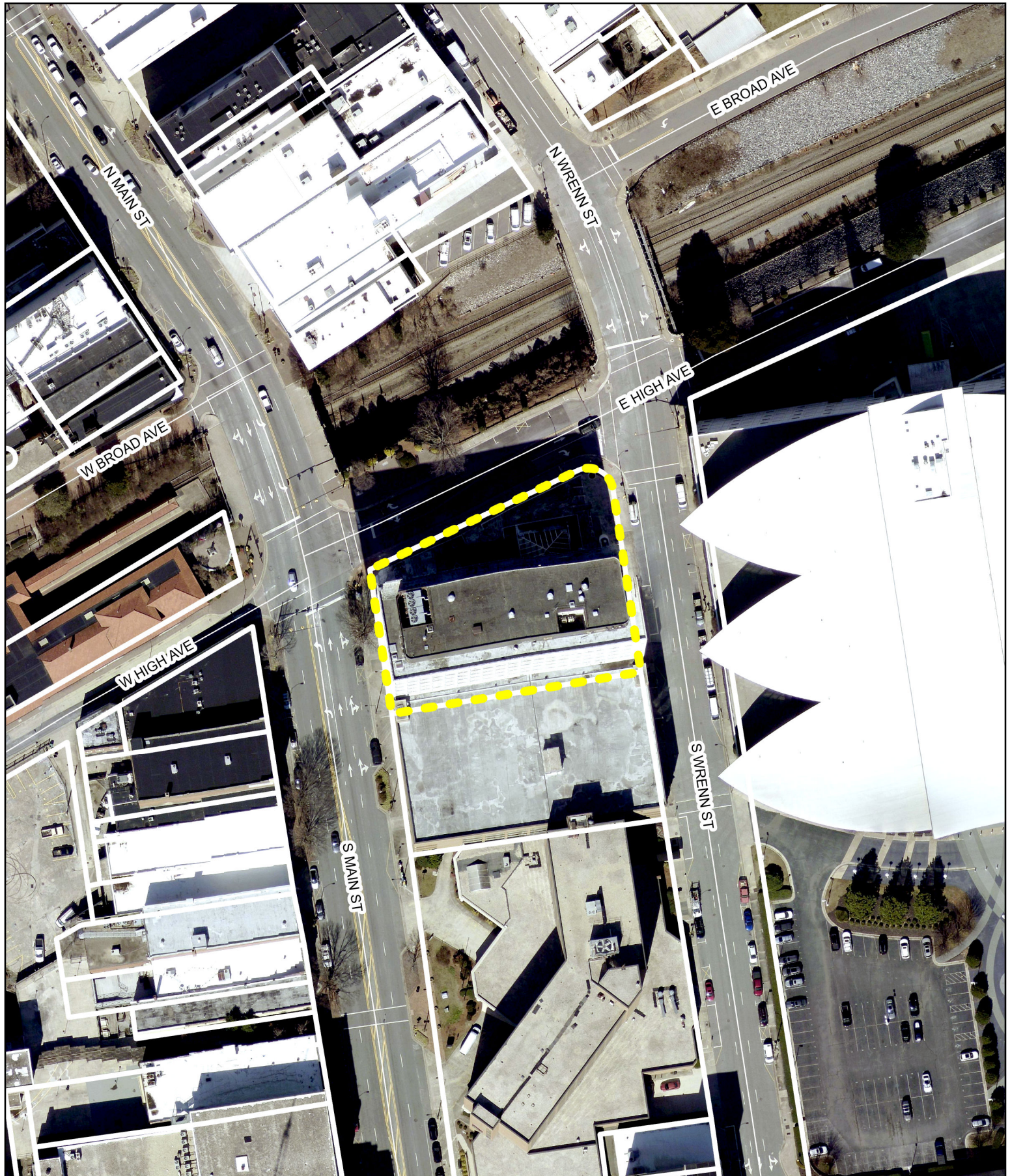


**GUILFORD COUNTY  
PLANNING AND DEVELOPMENT**

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Staff Report for  
Certificate of Appropriateness**

5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.



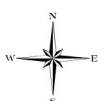


Planning & Development  
Department

Jurisdiction:  
HIGH POINT

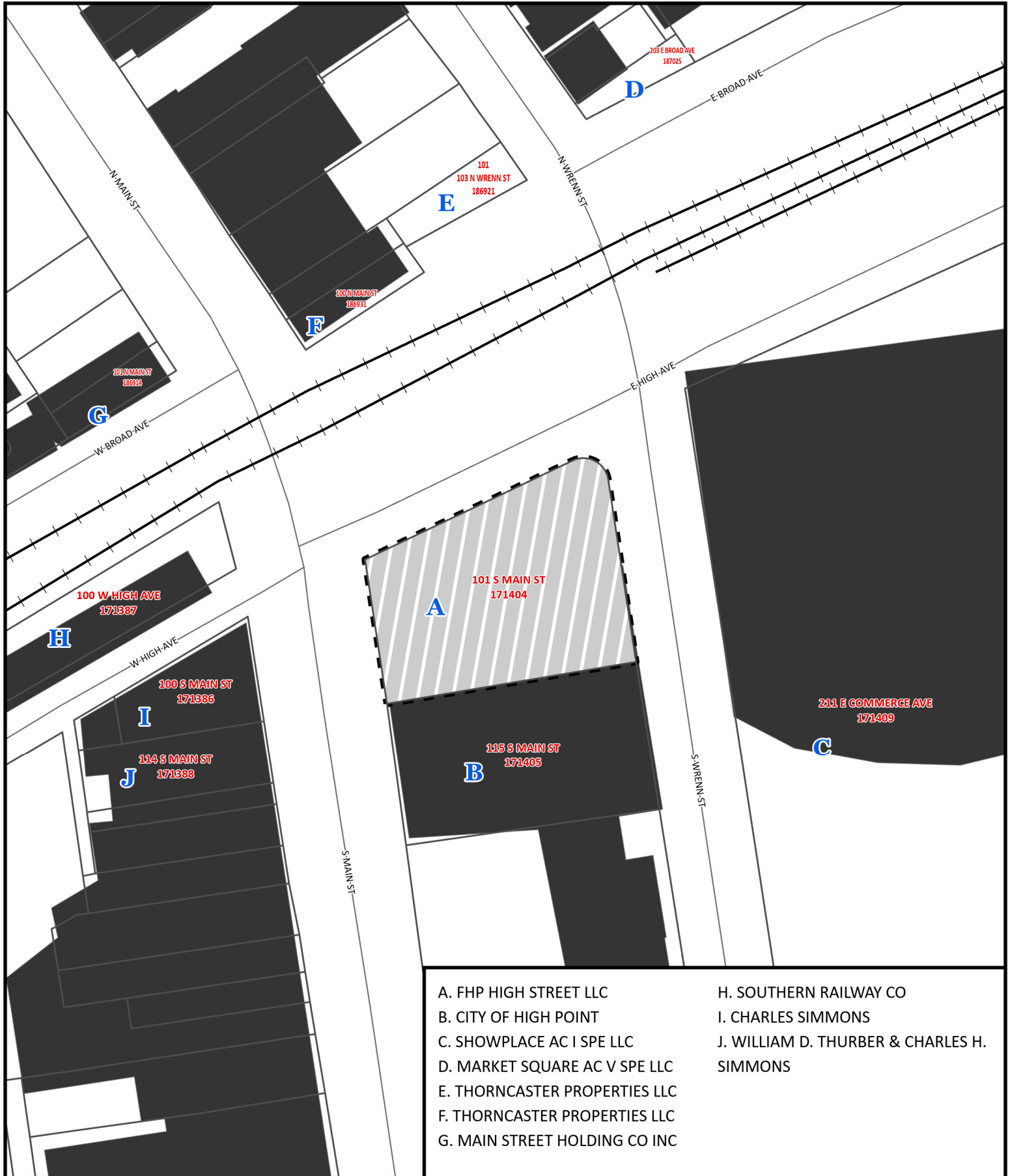
Case Number:  
25-10-HPC-00008

Case Area:  
Parcel(s) - 171404  
101 S Main St.



Scale: 1" = 100'





- |                               |  |
|-------------------------------|--|
| A. FHP HIGH STREET LLC        | H. SOUTHERN RAILWAY CO                     |
| B. CITY OF HIGH POINT         | I. CHARLES SIMMONS                         |
| C. SHOWPLACE AC I SPE LLC     | J. WILLIAM D. THURBER & CHARLES H. SIMMONS |
| D. MARKET SQUARE AC V SPE LLC |  |
| E. THORNCASTER PROPERTIES LLC |  |
| F. THORNCASTER PROPERTIES LLC |  |
| G. MAIN STREET HOLDING CO INC |  |



Planning & Development  
Department

**Jurisdiction:**

HIGH POINT

**Case Number:**

25-10-HPC-00008

**Case Area:**

Parcel(s) - 171404

101 S Main St



Scale: 1" = 100'

## **Affidavit of Notice**

I, Avery Tew, do hereby certify that notice has been sent by first-class mail to the following recipients regarding Case #25-10-HPC-00008.

FHP HIGH STREET LLC  
515 W ENGLISH RD STE 101C  
HIGH POINT, NC 27262

CITY OF HIGH POINT  
PO BOX 230  
HIGH POINT, NC 27261

SHOWPLACE AC I SPE LLC  
475 GRAND CENTRAL PKWY  
STE 1615  
LAS VEGAS, NV 89106

MARKET SQUARE AC V SPE LLC  
475 GRAND CENTRAL PKWY  
STE 1615  
LAS VEGAS, NV 89106

THORNCASTER PROPERTIES LLC  
402 INTERSTATE DR  
ARCHDALE, NC 27263

MAIN STREET HOLDING CO INC  
125 SEMINOLE AVE  
PALM BEACH, FL 33480

SOUTHERN RAILWAY CO  
650 W PEACHTREE ST  
ATLANTA, GA 30308

CHARLES SIMMONS  
611 HUNTINGTON DR  
HIGH POINT, NC 27262

WILLIAM D. THURBER & CHARLES  
H. SIMMONS  
2022 CLOISTER RD  
CHARLOTTE, NC 28211

ANDREW HAMPTON  
3230 QUEENS GRANT DR  
MIDLOTHIAN, VA 23113

This 4<sup>th</sup> day of December, 2025.



**Avery Tew**, AICP, CZO, Senior Planner  
Guilford County Planning and Development Department  
336-641-5678  
ctew@guilfordcountync.gov



## High Ave - Facing North



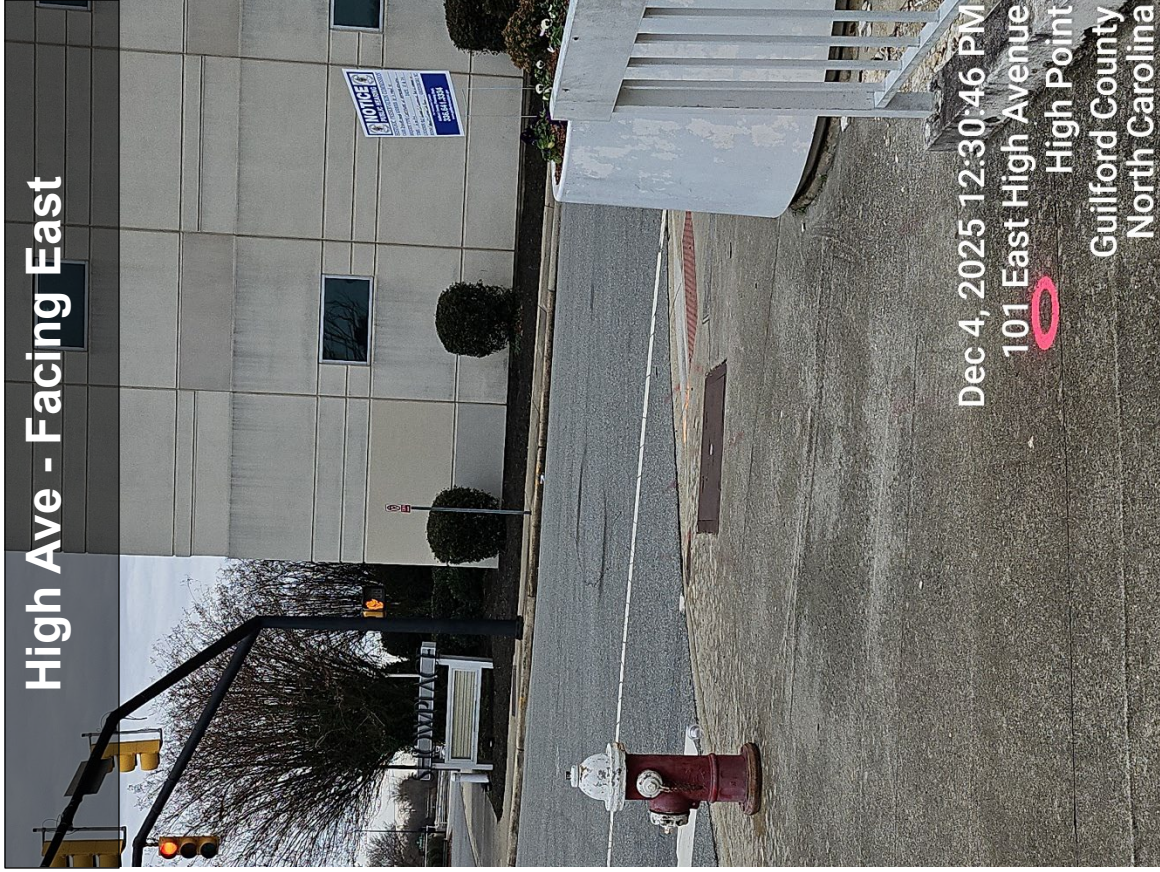
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101 East High Avenue  
High Point  
Guilford County  
North Carolina

## High Ave - Facing South



Dec 4, 2025 12:30:19 PM  
101 East High Avenue  
High Point  
Guilford County  
North Carolina





Dec 4, 2025 12:30:46 PM  
101 East High Avenue  
High Point  
Guilford County  
North Carolina



## Main St – Facing North



Dec 4, 2025 12:35:36 PM  
100 South Main Street  
High Point  
Guilford County  
North Carolina

## Main St – Facing South



Dec 4, 2025 12:35:26 PM  
100 South Main Street  
High Point  
Guilford County  
North Carolina





Main St – Facing West

Dec 4, 2025 12:35:47 PM  
100 South Main Street  
High Point  
Guilford County  
North Carolina

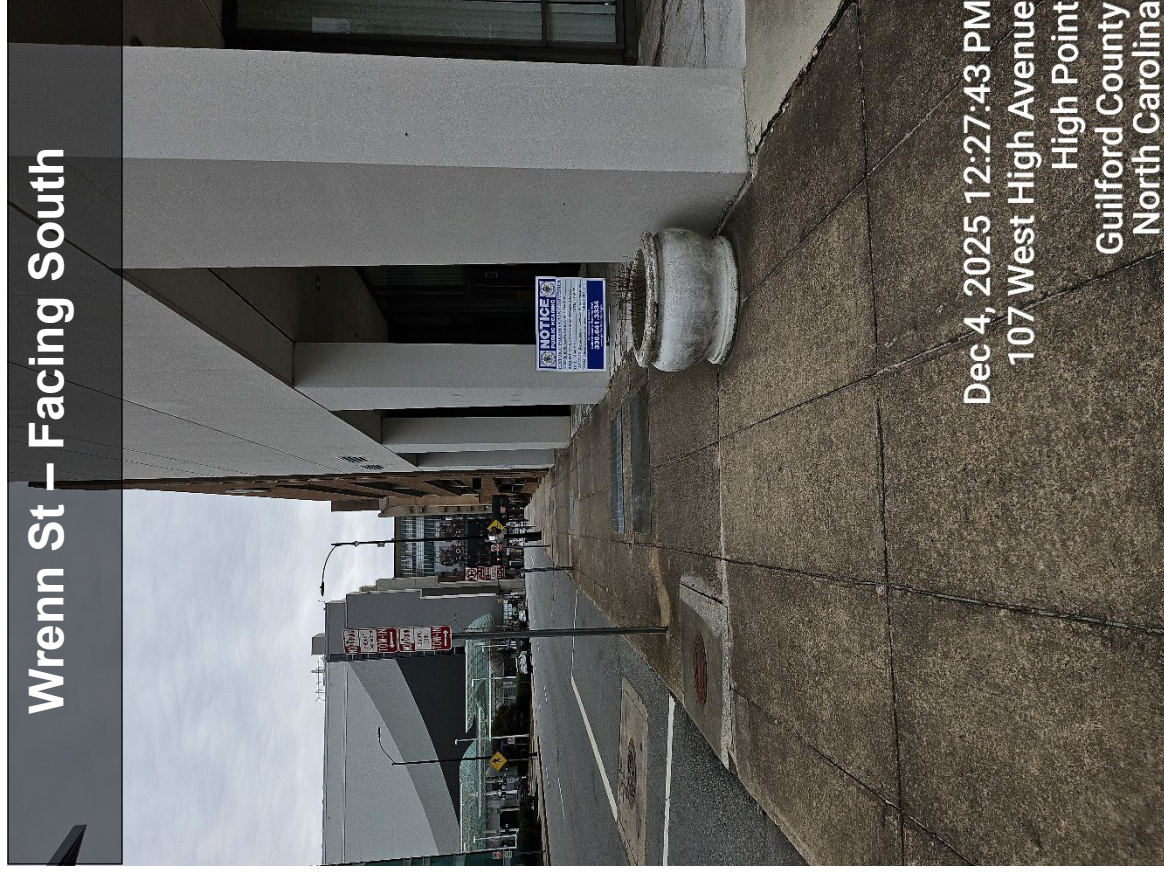


## Wrenn St – Facing North



Dec 4, 2025 12:28:09 PM  
100 East High Avenue  
High Point  
Guilford County  
North Carolina

## Wrenn St – Facing South



Dec 4, 2025 12:27:43 PM  
107 West High Avenue  
High Point  
Guilford County  
North Carolina

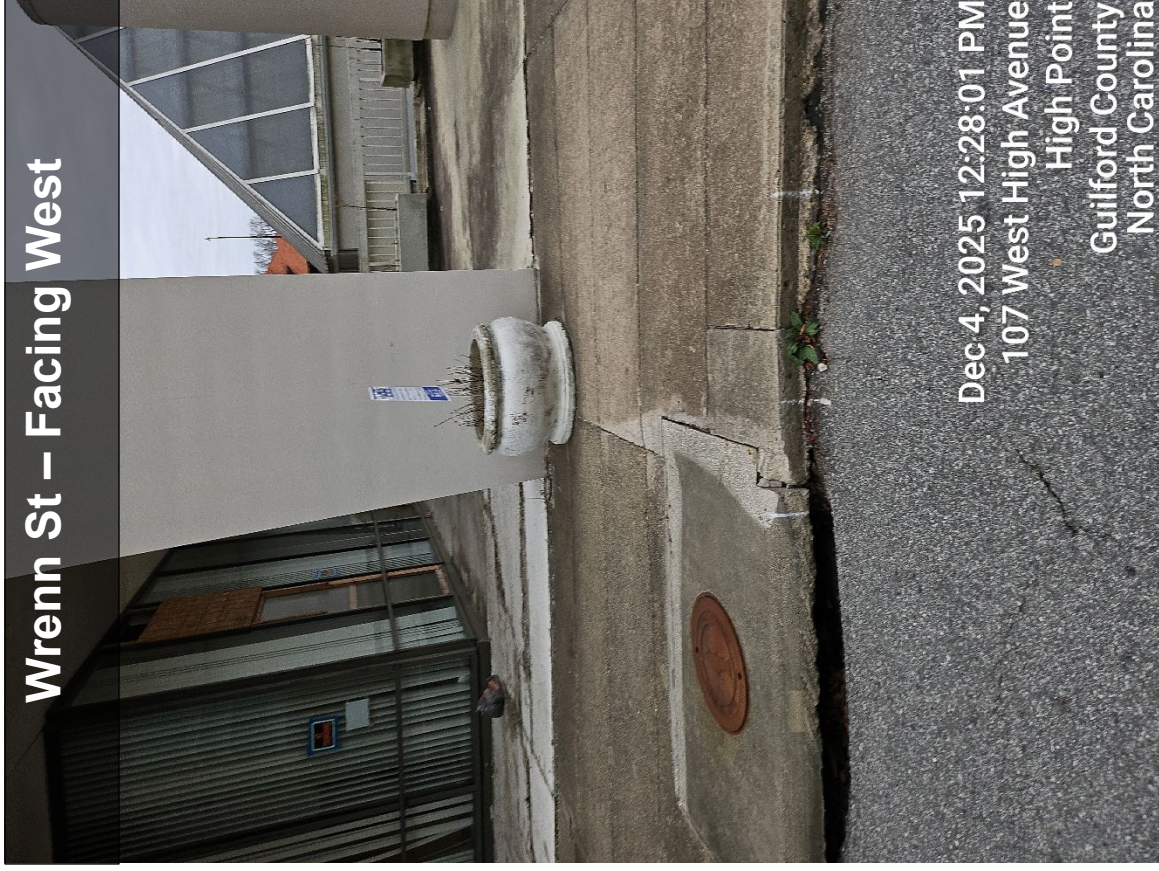


## Wrenn St – Facing East



Dec 4, 2025 12:28:15 PM  
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High Point  
Guilford County  
North Carolina

## Wrenn St – Facing West



Dec 4, 2025 12:28:01 PM  
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High Point  
Guilford County  
North Carolina